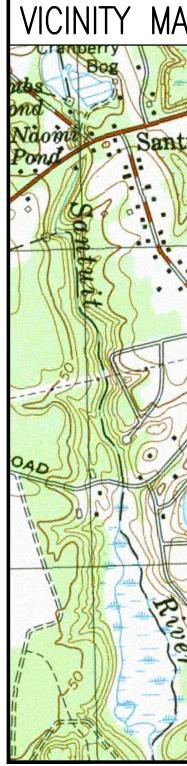
## GENERAL NOTES

- THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK. THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
- 2. THE ARCHITECT/ENGINEER HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE CONTRACTOR BIDDING THE JOB IS NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
- THE CONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE OMNIPOINT REPRESENTATIVE OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL OR PERFORMANCE OF WORK. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED IN WRITING OTHERWISE.
- THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR AND ALL OTHER MATERIALS AND LABOR DEEMED NECESSARY TO COMPLETE THE WORK/PROJECT AS DESCRIBED HEREIN.
- THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO THE SUBMISSION OF BIDS OR PERFORMING WORK TO FAMILIARIZE HIMSELF WITH THE FIELD CONDITIONS AND TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- 6. THE CONTRACTOR SHALL OBTAIN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS / CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO THE MANUFACTURER'S / VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
- THE CONTRACTOR SHALL PROVIDE A FULL SET OF CONSTRUCTION DOCUMENTS AT THE SITE UPDATED WITH THE LATEST REVISIONS AND ADDENDUMS OR CLARIFICATIONS AVAILABLE FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.

- 10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY CONSTRUCTION CONTROL SURVEYS, ESTABLISHING AND MAINTAINING ALL LINES AND GRADES REQUIRED TO CONSTRUCT ALL IMPROVEMENTS AS SHOWN HEREIN.
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY OR LOCAL GOVERNMENT AUTHORITY.
- 12. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
- 13. THE CONTRACTOR SHALL KEEP THE GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. PREMISES SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
- 14. THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT.
- 15. THE CONTRACTOR SHALL NOTIFY THE PROJECT OWNER'S REPRESENTATIVE WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE WORK THAT IS IN CONFLICT UNTIL CONFLICT IS RESOLVED BY THE LESSEE/LICENSEE REPRESENTATIVE.
- 16. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC. ON THE JOB.
- 17. ALL UNDERGROUND UTILITY INFORMATION WAS DETERMINED FROM SURFACE INVESTIGATIONS AND EXISTING PLANS OF RECORD. THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES IN THE FIELD PRIOR TO ANY SITE WORK. CALL THE FOLLOWING FOR ALL PRE-CONSTRUCTION NOTIFICATION 72-HOURS PRIOR TO ANY EXCAVATION ACTIVITY: DIG SAFE SYSTEM (MA, ME, NH, RI, VT): 1-888-344-7233 CALL BEFORE YOU DIG (CT): 1-800-922-4455





# COTUIT RELO

# 414 MAIN STREET COTUIT, MA 02635

# SITE NO.: MA-032

SITE TYPE: RAW LAND - MONOPOLE

<b>AP</b> SCALE: 1" = 1000'-0"	SHE	ET INDEX	
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STE Station	C-3	LANDSCAPE PLAN	1
1 62 13 THE STORE SOL	A-1	COMPOUND PLAN & ELEVATION	1
	A-2	SITE DETAILS	I
Park 15			
A A A SE AND			
Hopers			
Blach			

# DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE PROJECT OWNER'S REPRESENTATIVE IN WRITING OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

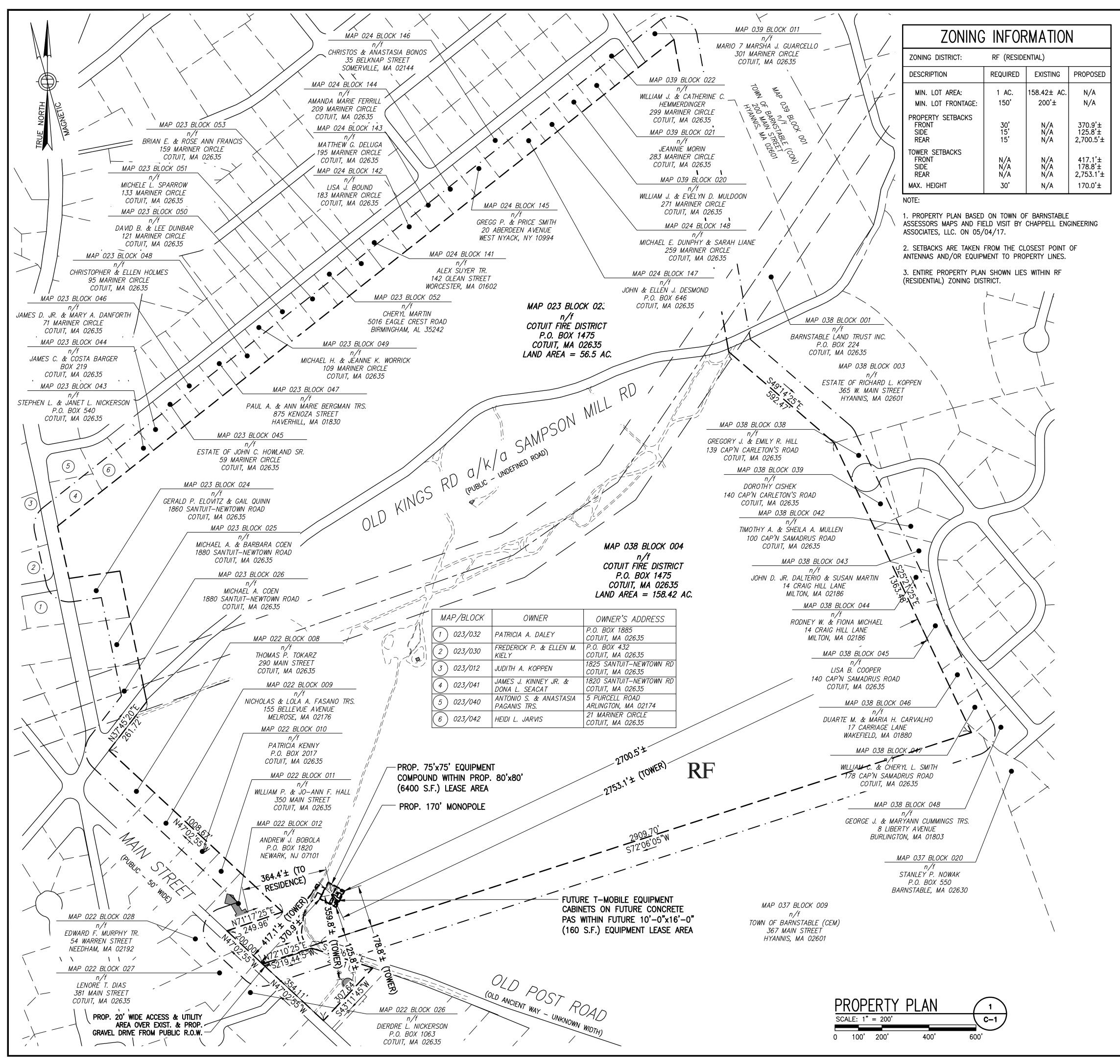
# **ZONING DRAWINGS**

(NOT FOR CONSTRUCTION)

## PROJECT SUMMARY

SITE NUMBER:	MA-032
SITE NAME:	COTUIT RAW LAND
SITE ADDRESS:	414 MAIN STREET COTUIT, MA 02635
LATITUDE:	N.41° 37 47.93" (NAD83)
LONGITUDE:	W.70°26'30.72 (NAD83)
ASSESSOR'S PARCEL NO.:	MAP 038 BLOCK 004
ZONING DISTRICT:	RF (RESIDENTIAL)
DEED REFERENCE:	N/A
CONSTRUCTION TYPE:	RAW LAND – MONOPOLE
PROPERTY OWNER:	COTUIT FIRE DISTRICT P.O. BOX 1475 COTUIT, MA 02635
APPLICANT:	TOWERNORTH DEVELOPMENT, LLC 95 RYAN DRIVE, SUITE 1 RAYNHAM, MA 02767
ARCHITECT:	CHAPPELL ENGINEERING ASSOCIATES, LLC. 201 BOSTON POST ROAD WEST, SUITE 101 MARLBOROUGH, MA 01752
STRUCTURAL ENGINEER:	CHAPPELL ENGINEERING ASSOCIATES, LLC. 201 BOSTON POST ROAD WEST, SUITE 101 MARLBOROUGH, MA 01752

	6		
Civ	R.K. 201 BOS MARLB (	CHAPPELL ENGINEERING ASSOCIATES, LLC tural · Land Surveying EXECUTIVE CENTRE TON POST ROAD WEST SUITE 101 OROUGH, MA 01752 508)481–7400 appellengineering.com	
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1.		ENERAL NOTES	
1.	FIELD SURVEY DATE:	05/04/2017	
2.	VERTICAL DATUM:	NORTH AMERICAN VERTICAL DATUM OF 1988	
3.	HORIZONTAL DATUM:	(NAVD88) NORTH AMERICAN DATUM OF 1983	
0.		(NAD83)	
4.	SITE CONTROL POINT:	CENTER OF PROPOSED MONOPOLE LATITUDE: N.41°–37'–47.93" (NAD 83) LONGITUDE: W.70°–26'–30.72" (NAD 83)	
5.	OWNER	COTUIT FIRE DISTRICT P.O. BOX 1475	CHAPPELL
		COTUIT, MA 02635	ENGINEERING
5.	SITE NAME:	COTUIT RAW LAND	ASSOCIATES, LI
7.	SITE ADDRESS:	414 MAIN STREET COTUIT, MA 02635	Civil · Structural · Land Surveyin R.K. EXECUTIVE CENTRE
8.	APPLICANT:	TOWERNORTH DEVELOPMENT, LLC	201 BOSTON POST ROAD WEST
		95 RYAN DRIVE, SUITE 1 RAYNHAM, MA 02767	SUITE 101 MARLBOROUGH, MA 01752
9.	JURISDICTION:	TOWN OF BARNSTABLE	(508)481-7400 www.chappellengineering.com
10.	TAX ID:	MAP 038 BLOCK 004	
11.	DEED REFERENCE:	N/A	Statiof Marker
12. 13.	PLAN REFERENCES: ZONING DISTRICT:	TOWN OF BARNSTABLE ASSESSOR/GIS MAPS RF (RESIDENTIAL)	A Star All
		FORMATION PRESENTED HEREON WAS DETERMINED FROM	JASY DAVIDA. YA
14.	SURFACE EVIDENCE AND PLANS BE LOCATED IN THE FIELD PRI	S OF RECORD. ALL UNDERGROUND UTILITIES SHOULD IOR TO THE COMMENCEMENT OF ANY SITE WORK. CALL MINIMUM OF 72 HOURS PRIOR TO PLANNED ACTIVITY.	
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PROPERTY PLAN

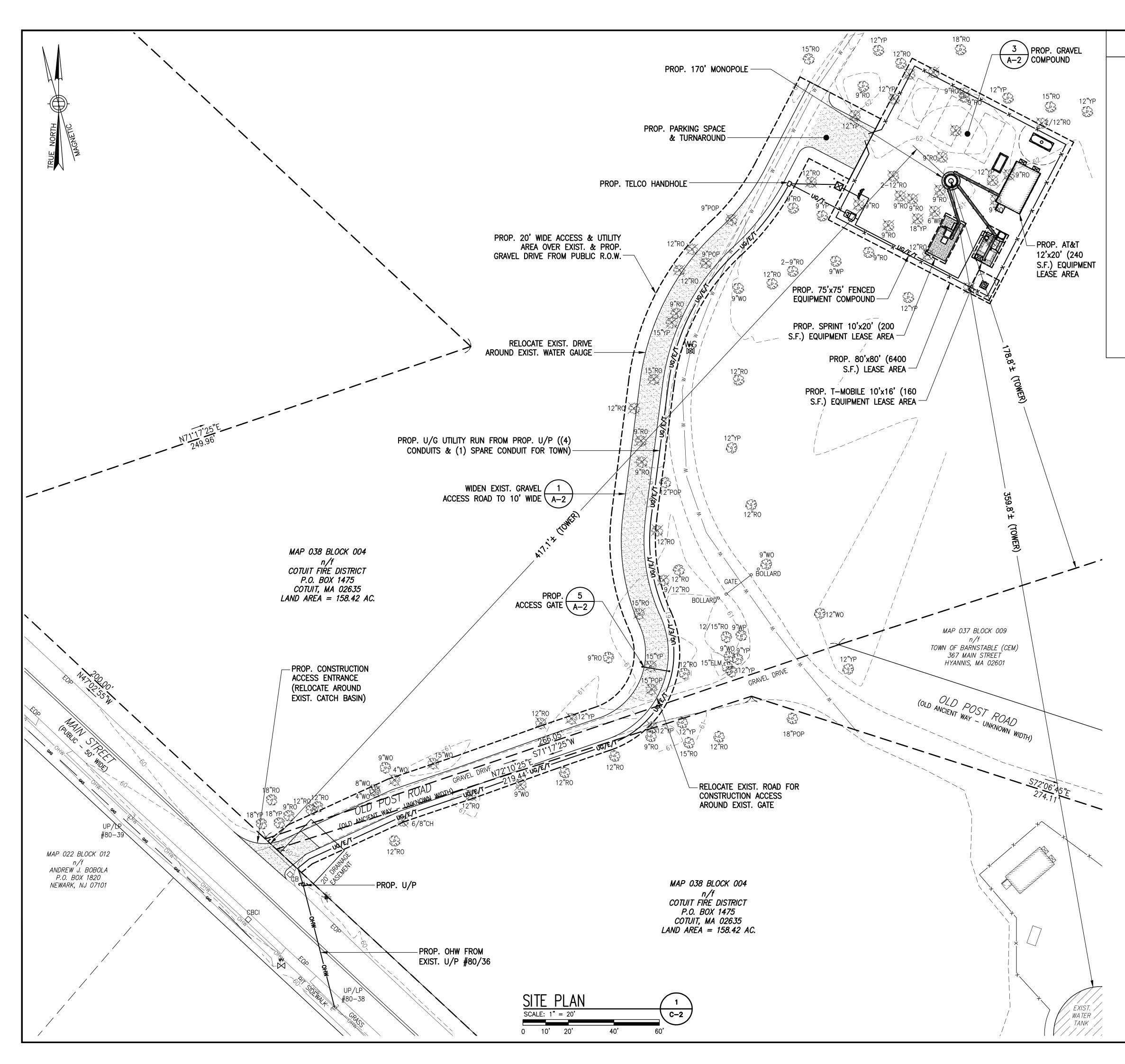
SHEET NUMBER

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CEA JOB NO.: 1033.19

#### SITE CONTROL POINT

CENTER OF PROPOSED MONOPOLE NAD 83 LATITUDE: N.41°-37'-47.93" NAD 83 LONGITUDE: W.70°-26'-30.72" NAVD 88 GROUND ELEVATION: 60.0'±



## <u>LEGEND</u>

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EXIST.	TREE LINE
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EXIST.	OVERHEAD UTILITIES
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$\bigotimes$	WATER MANHOLE

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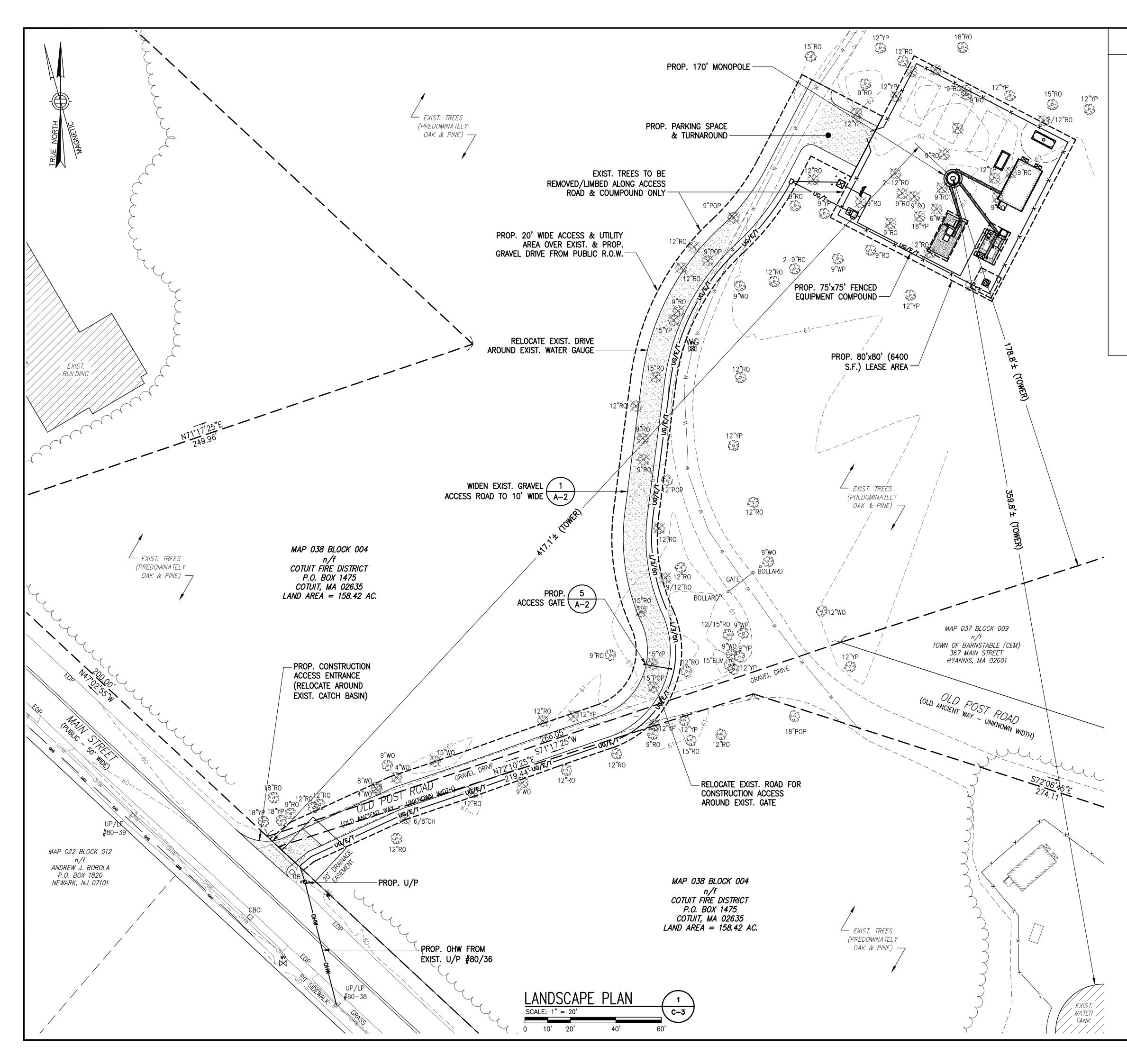
## TREE LEGEND

XX	REMOVED TREE (TOTAL OF 49)
RO	RED OAK
WO	WHITE OAK
WP	WHITE PINE
YP	YELLOW PINE

	SITE	CONTROL	POINT
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CENTER OF PROPOSED MONOPOLE NAD 83 LATITUDE: N.41°-37'-47.93" NAD 83 LONGITUDE: W.70°-26'-30.72" NAVD 88 GROUND ELEVATION: 60.0'±

		CENTERLINE
Civ	ril • Struct R.K. 201 BOS MARLB	CHAPPELL ENGINEERING ASSOCIATES, LLC tural · Land Surveying EXECUTIVE CENTRE TON POST ROAD WEST SUITE 101 OROUGH, MA 01752 508)481-7400 appellengineering.com
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## <u>LEGEND</u>

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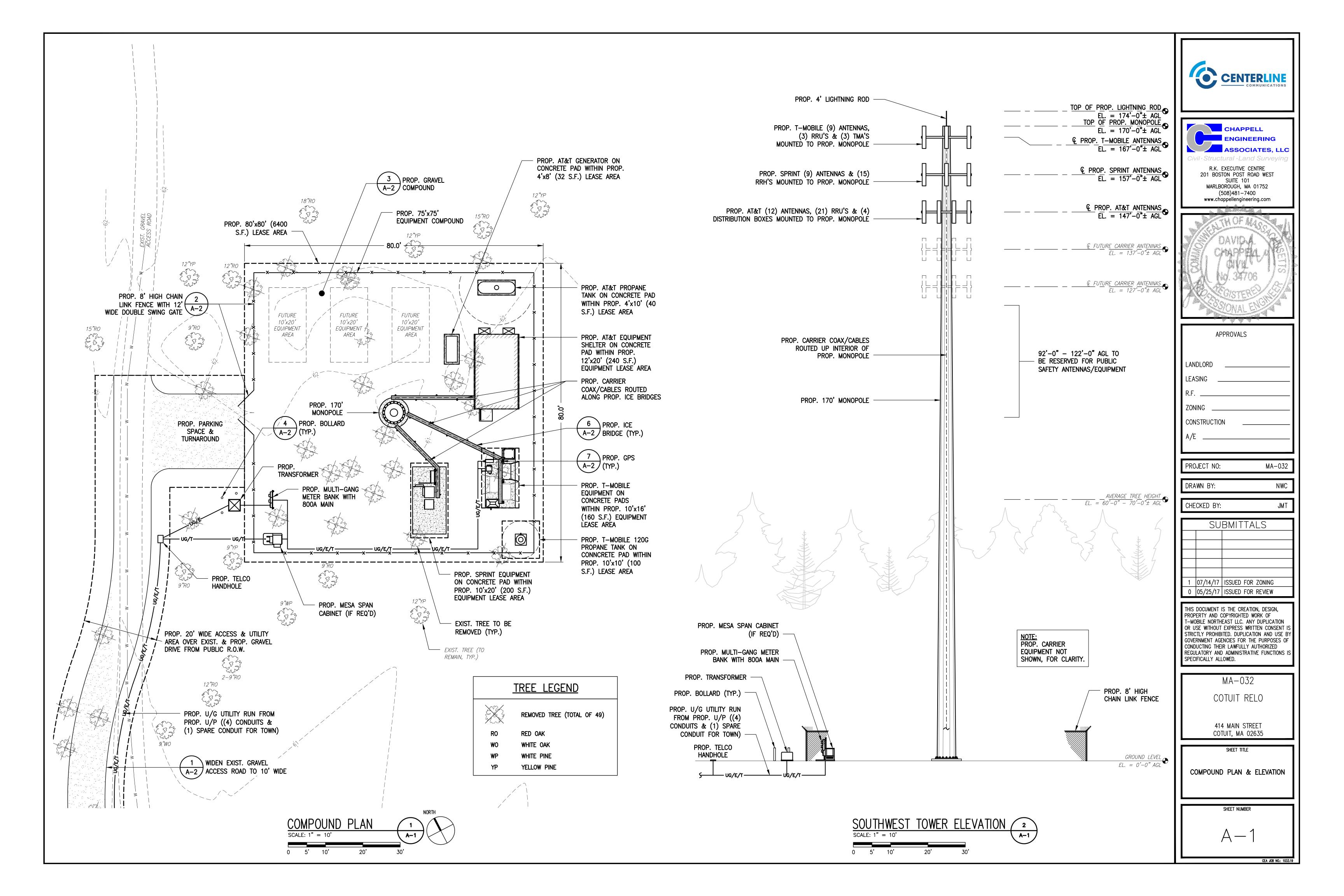
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$\bigotimes$	WATER MANHOLE	

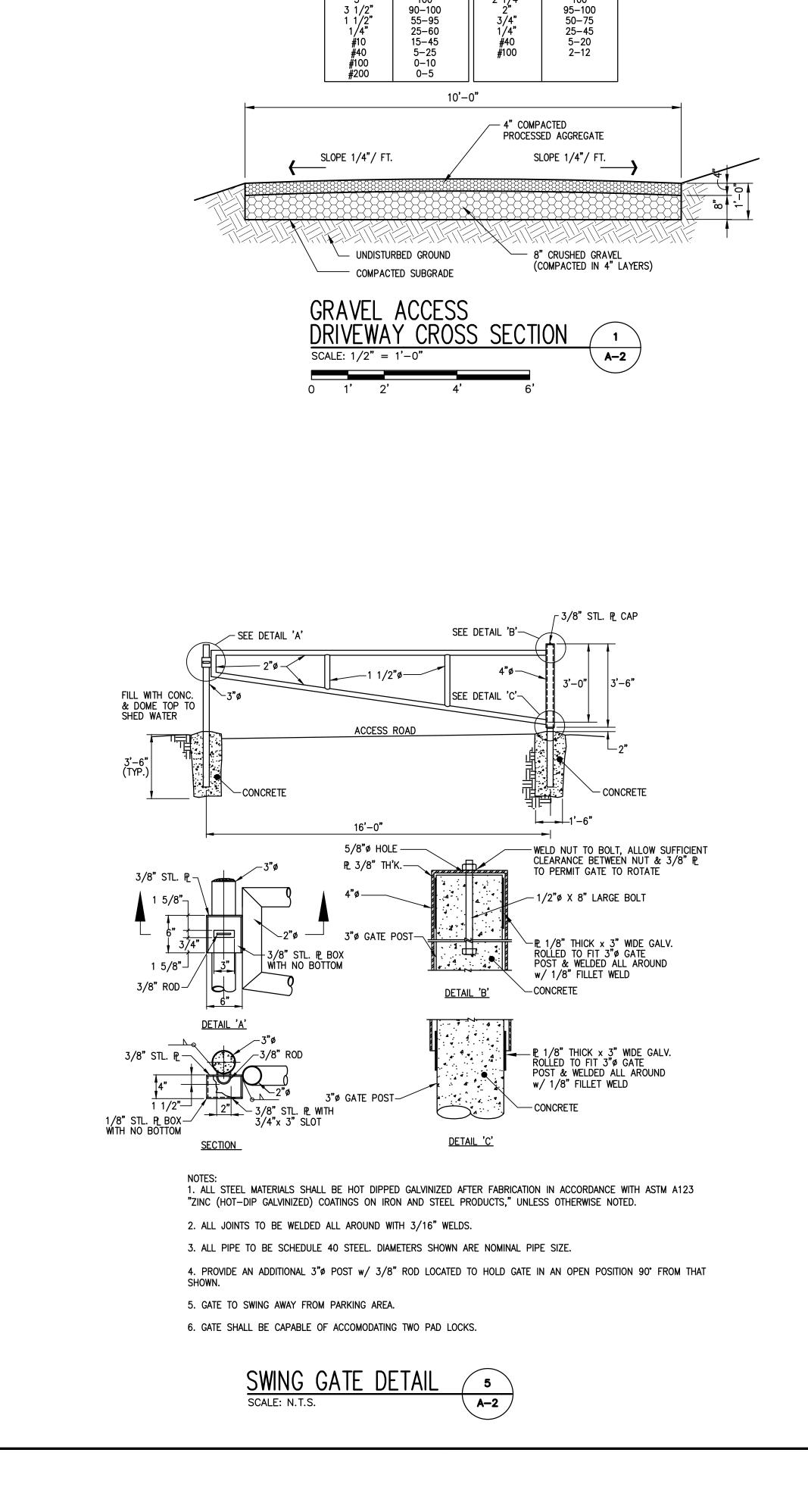
 DRAINAGE MANHOLE
 □ CATCH BASIN
 SV GAS VALVE
 WATER VALVE

#### <u>TREE LEGEND</u>

	REMOVED TREE (TOTAL OF 49)
RO	RED OAK
WO	WHITE OAK
WP	WHITE PINE
YP	YELLOW PINE

CENTERLINE COMMUNICATIONS	
CHAPPELL ENGINEERING ASSOCIATES, LLC Civil · Structural · Land Surveying R.K. EXECUTIVE CENTRE 201 BOSTON POST ROAD WEST SUITE 101 MARLBOROUGH, MA 01752 (508)481–7400 www.chappellengineering.com	
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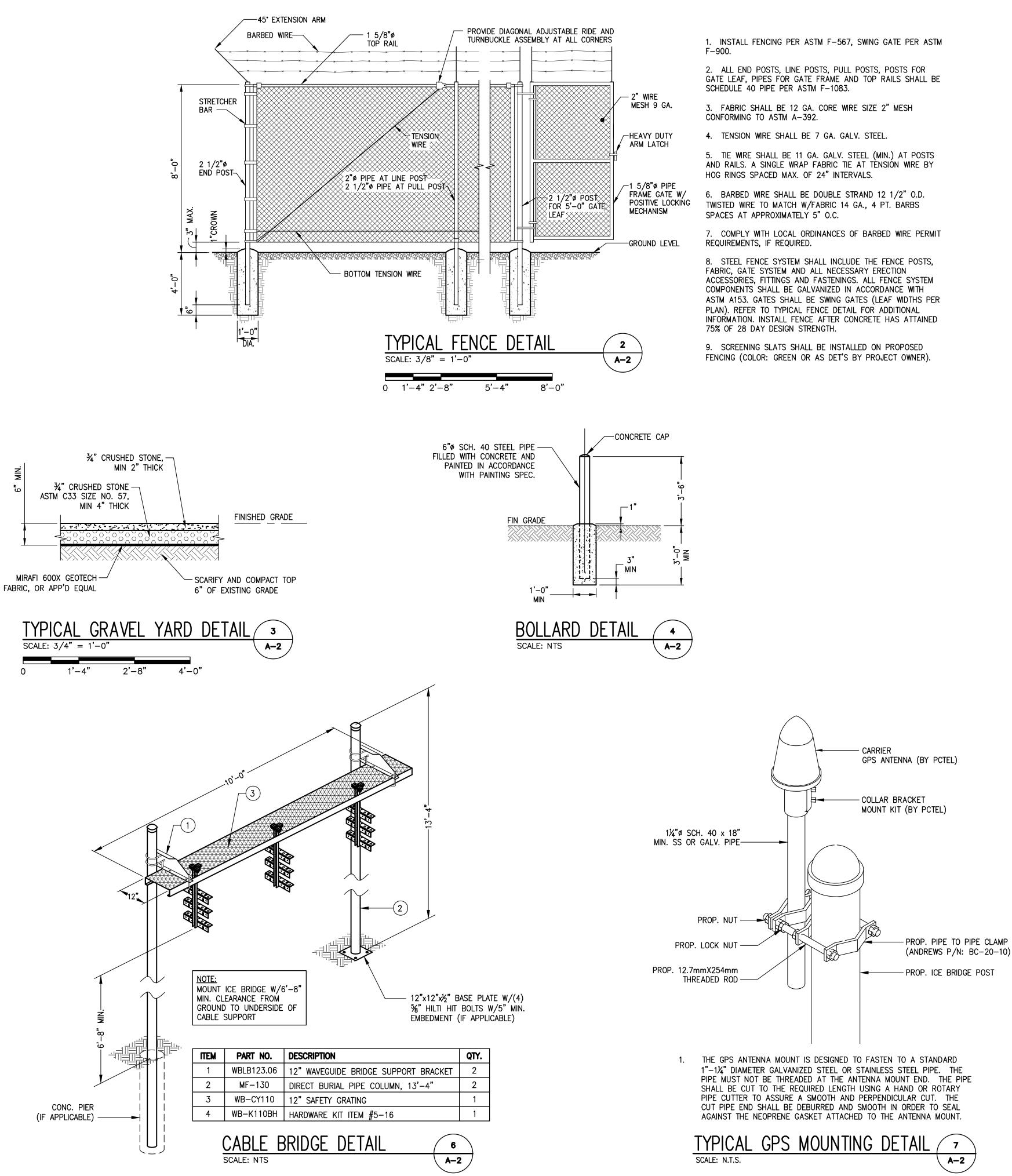
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BY WEIGHT

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CENTERLINE COMMUNICATIONS
CHAPPELL ENGINEERING ASSOCIATES, LLC
Civil · Structural · Land Surveying R.K. EXECUTIVE CENTRE 201 BOSTON POST ROAD WEST SUITE 101 MARLBOROUGH, MA 01752 (508)481–7400 www.chappellengineering.com
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