

# **Cotuit Fire District**

## **Request for Qualifications**

**For**

### **Architectural and Engineering Design Services for Addition and Renovation to Fire Station Building**

**Cotuit Fire District  
64 High Street  
Cotuit, MA 02635**

**August 19, 2024**

**Responses due date: September 19, 2024, no later than 2:00 pm**

**Contact: Fire Chief Sean Brown, 508-428-2210**

**sbrown@cotuitfire.org**

This document and any addenda thereto are issued electronically only. It is the responsibility of every bidder who receives this bid and all associated documents to check the Cotuit Fire District Bid & RFP System ([www.cotuitfiredistrict.org](http://www.cotuitfiredistrict.org)) for any addenda or modification to this solicitation, if they intend to respond. The Cotuit Fire District accepts no liability to provide accommodation to bidders who submit a response based upon an out-of-date solicitation document. Bidders may not alter (manually or electronically) the bid language or any bid documents. Unauthorized modifications to the body of the bid, specifications, terms or conditions, or which change the intent of this bid are prohibited and may disqualify a response.

## **NOTICE**

### **SOLICITATION OF PROPOSALS**

#### **COTUIT FIRE DISTRICT**

#### **COTUIT FIRE DEPARTMENT**

The Purchasing Agent of the Cotuit Fire District, on behalf the Cotuit Fire Department is soliciting qualifications for the following design services, in accordance with Chapter 7C M.G.L:

## **Architectural and Engineering Design Services for Addition and Renovation of a Fire Station Building**

Specifications and qualification forms are available on the Cotuit Fire District website, Bid & RFP system at [www.cotuitfiredistrict.org](http://www.cotuitfiredistrict.org). For questions, contact Fire Chief Sean Brown, 64 High Street, Cotuit, MA 02635, email [sbrown@cotuitfire.org](mailto:sbrown@cotuitfire.org) preceding the bid opening, between the hours of 8:00AM and 4:00 PM, Monday through Friday, excluding holidays.

All responses must be received by **September 19, 2024, by 2:00 pm** at the Cotuit Fire District, Attn: Board of Fire Commissioners Chairman Kevin Conley, 64 High Street, Cotuit, MA 02635; Responses received after that time will not be accepted.

Contract award will be made by the Cotuit Fire District in conjunction with the Chief Procurement Officer, after the approval of the Board of Fire Commissioners. The Cotuit Fire District reserves the right to reject any or all responses when it deems to be in the best interest of the Cotuit Fire District.

COTUIT FIRE DISTRICT  
COTUIT FIRE DEPARTMENT

GENERAL SPECIFICATIONS

- A. Attention of all responders is directed to Chapter 7C of the General Laws of the Commonwealth of Massachusetts and to all other applicable sections of the General Laws as most recently amended which govern the award of this contract.
- B. The responder shall submit the responses upon forms furnished in the RFQ Invitation documents. All responses shall be in ink or typewritten and the bid form must be filled out completely.
- C. All responses shall be signed correctly in ink by the individual or in the case of a firm, partnership or corporation, by a person having the legal authority from said firm, partnership, or corporation to sign.
- D. All responses shall be submitted to the Cotuit Fire District, Attn: Board of Fire Commissioners Chairman Kevin Conley, 64 High Street, Cotuit, MA 02635, on or before the date and time stated in the "RFQ Notice". Each bid shall be in a sealed envelope, clearly marked on the outside of the envelope to indicate the contents, and the name and address of the bidder.
- E. Forms shall be completely filled in. Responses which are incomplete, conditional or obscure, or which contain additions not called for, will be rejected. Response forms are included in this document. This includes the "Standard Designer Selection Form", the Cotuit Fire District Certificate of Non-collusion, the State Tax Exemption certificate.
- F. Responders may correct, modify, or withdraw the original responses on or before the date and time stated in the "RFQ Notice". Corrections or modifications shall be in sealed envelopes, clearly marked to indicate the contents, with the name and address of the responder. A responder who wishes to withdraw an application must make the request in writing.

G. A responder may withdraw a response after the public opening of the RFQ only if a mistake is clearly evident on the face of the document, but the intended correct answer is not evident.

H. Any response received after the date and time stated in the "RFQ Notice" shall not be opened. Unopened responses will be returned to the applicant.

I. Bids will be publicly opened and read at the date and time stated in the "RFQ Notice". All interested parties are invited to be present. However, evaluation of the qualifications will be per the Designer Selection Procedure as adopted by the Board of Fire Commissioners.

J. No selection will be made of any responder who cannot satisfy the Cotuit Fire District that they have sufficient ability and experience in this class of work and sufficient resources to enable him/her to prosecute and complete the work successfully within the time named. The owner's decision or judgment on these matters shall be final, conclusive, and binding. Conditional responses will not be accepted.

K. At the time of the opening of RFQs, each responder will be presumed to have read and to be thoroughly familiar with the attached scope of design services (including all addenda). The failure or omission of any responder to examine any form, instrument, or document shall in no way relieve any responder from any obligation in respect of his/her submission.

L. Each responder shall acknowledge receipt of any and all addenda issued to the invitation for qualification by so indicating on the RFQ Sheet. Failure to do so shall be cause to reject the response as being non-responsive.

M. The responder's attention is directed to the fact that all applicable State laws, Municipal ordinances, and the rules and regulations of all authorities having jurisdiction over bid/purchase shall apply to the contract throughout, and they will be deemed to be included in the contract the same as though herein written out in full.

N. Each responder must sign and submit a "Certificate of Non-Collusion" clause and a "State Tax Certification" clause with the bid sheet. (Forms are attached to Bid Sheet).

O. If the services are subsequently deemed to be unsatisfactory to the District and are in violation of the Scope of Design Services, the Fire District shall notify the said responder. If mutually agreeable arrangements cannot be achieved between the Fire District and the responder, the terms of the contract will be immediately terminated.

## **Scope of Services**

### **Request for Qualifications**

#### **Architectural and Engineering Design Services**

#### **Cotuit Fire District**

#### **Addition & Renovation to a Fire Station Building**

**August 19, 2024**

### **Introduction**

The Cotuit Fire District (the District) is a distinct municipal entity authorized by special legislation of the Massachusetts General Court in 1926. The District exists to provide public water supply, street lighting, fire-prevention services, extinguishment of fires, and emergency medical care, rescue, and ambulance services for its inhabitants. A three-member Prudential Committee, elected by the registered voters of the District, is charged with the responsibility of insuring that funds, raised and/or borrowed by the District, are expended for the purposes set forth in the warrants and articles enacted by the District. A three-member Board of Fire Commissioners, elected by the registered voters of the District, is charged, through their appointed officers, with the responsibility for the care and maintenance of the fire station property and all the fire and rescue apparatus and equipment. The Board of Fire Commissioners is further charged with the responsibility of appointing personnel and preparation of the annual budget for the Fire Department.

The Cotuit Fire Department was formed in 1912 and services the residents and visitors of the District. The District, one of five within the Town of Barnstable, is located about halfway between Hyannis and Falmouth on the Nantucket Sound side of Cape Cod. The District services an area of approximately five square miles and a resident population of approximately 3,000. The District is primarily residential with several beaches and outdoor recreational areas. The Fire Department responds to just over 1,000 incidents annually.

The District is in need of additions and renovations to the existing fire station in order to provide the highest quality of emergency and community risk reduction services, accommodate modern fire and rescue apparatus, as well as provide workspace for the District Treasurer and Clerk. A Needs Committee made up of members of the Fire Department, The Chairman of the Board of Fire Commissioners, and a Citizen of the District was formed to review the space needs of the Fire Department, review recent fire station projects across Cape Cod, and develop conceptual drawings for the future addition and renovation of the existing fire station.

### **Existing Facilities**

The Cotuit Fire Department (CFD) is located in Cotuit Village in the Town of Barnstable, at 64 High Street. The fire department building occupies a 5,400 square foot footprint located on 0.4 acres of land. The building was originally constructed in 1938 with reclaimed materials from the former Elizabeth Lowell High School building and has had multiple alterations. The building has 5 single depth bays for ambulances and fire equipment. Access to 3 of the apparatus bays is via an apron at the front of the building on High Street. Two additional bays are accessible via an inclined parking lot at the north side of the building.

### **Determination of Need:**

A Facilities Needs Committee made up of members of the Fire Department, The Chairman of the Board of Fire Commissioners, and a Citizen of the District was formed to review the space needs of the Fire Department, review recent fire station projects across Cape Cod, and develop conceptual drawings for the future addition and renovation of the existing fire station. After the extensive review of existing conditions at the fire station and touring multiple fire stations, the Facilities Needs Committee identified the following challenges and limitations that the Fire Department is presented with:

1. The apparatus bays are too narrow to access the vehicles properly and the height of the bays requires the purchase of vehicles specially adapted, so they fit within. These adaptations may add several hundred thousand dollars to the cost of the equipment.
2. The current facility does not have sufficient support space, lockers, training, fitness, or storage.
3. The upper floors of the building are not ADA compliant. This includes the area currently occupied by the District Treasurer's office.
4. There is insufficient space to accommodate all the Fire Apparatus. When the next fire engine in the CIP schedule is ordered, it will be difficult to accommodate in the existing facility,
5. There is no shop space for equipment maintenance.
6. Turnout gear is stored in an undersized room that does not provide adequate isolation from the business and living space of the fire station.
7. The existing facility lacks a decontamination area.
8. The existing facility lacks a private area to initiate patient care for walk-in patients.
9. The existing facility lacks an adequate area for the storage of medical supplies.
10. The existing facility lacks a locker room and changing space for Fire Department personnel.

Based on the list of deficiencies noted above, the Facility Needs Committee explored options for a new location for the fire station and options for expanding and renovating the existing fire station. Due to the limited options for relocating and building a new fire station, it was determined that the

best option is to expand and renovate the existing fire station. The Facility Needs Committee engaged the services of a contracted architectural firm to assist with reviewing the feasibility of merging together the District-owned lots located at 64 High Street, Cotuit, MA 02635 and 56 High Street, Cotuit, MA 02635 to form a single lot that would provide adequate space for the expansion and renovation of the existing fire station. In addition, the contracted architectural firm also worked with the Facility Needs Committee to develop conceptual drawings that incorporated the requirements of the Committee on the merged lot.

**Proposed conceptual drawings and lot plans:**

Attached are exhibits based on the work of the Facilities Needs Committee:

1. A Preliminary Space Program developed by the Facility Needs Committee for the proposed fire station.
2. Conceptual drawings for the addition and renovation of the existing Cotuit fire station.

Renovating and adding onto the existing fire station will require the merging of two lots owned by the Cotuit Fire District.

**Scope of Design Services for Cotuit Fire Station:**

**Schematic Design Phase:**

1. Review the attached Preliminary Program for the Fire Department. Interview the appropriate members of the District, as required, to fully understand the need. Make additional recommendations based on prior experiences with other similar building programs.
2. Develop the most appropriate design for the new building given the revised preliminary program. The design should be developed with sufficient detail to help the Board of Fire Commissioners and the voters of the Fire District understand the proposed layout of the building, its massing and proposed appearance. The design shall include Floor Plans, Elevations of the exterior of the proposed structure and Siting Plans.
3. Based on the size and massing of the expanded and renovated Fire Station building, evaluate the attached GIS site plan to confirm preliminary concept. This may require a survey of the site and staking the perimeter of the building. Include in the fee time to work with a survey company hired by the District separately.
4. Recommend optional features that may arise within the design process to improve the overall function and flow of the new facility.
5. Provide schematic level details and systems descriptions of the proposed structural, fire protection, plumbing, HVAC, and electrical systems.
6. Assist the District in developing a Project Budget for the project.
7. Meet with the District to review options at appropriate stages in the design process to obtain approval for each alternative layout (if any), design, or concept.



8. Meet with the District to review progress toward the completion of the work.
9. Meet with the Board of Fire Commissioners to obtain approval of the design.
10. Provide final Schematic Design Documents for the use of the District in obtaining approval of the District voters to proceed with the project.
11. Attend either a Special Meeting, or the Annual Meeting of the District to assist the Board of Fire Commissioners in explaining the project to the voters and key stakeholders.

### **Design Development (DD) Phase:**

Once approval has been received from the Board of Fire Commissioners, proceed to the Design Development phase of the project for the addition and renovation of the Fire Station building.

1. Develop the DD plans and specifications for the addition and renovation to the Fire Station, sufficient to obtain check pricing from a Cost Consultant, of the new building. Plans to include:
  - a. Detailed floor plans and building elevations sufficient to describe the spaces and function.
  - b. Appearance of the building exterior with detail as required to describe the proposed building to local approving authorities.
  - c. Landscaping and sitework plans and specifications.
  - d. Mechanical (Heating Ventilating and Air Conditioning (HVAC), Plumbing and Fire Protection) and Electrical systems drawings and specifications.
  - e. Station alerting system, radio systems, intercom, information technologies, and security systems.
  - f. Massachusetts Building Code Compliance documentation.
2. DD Plans and Specifications should be of sufficient detail to acquire approvals. Town of Barnstable, Cape Cod Commission, and Massachusetts Department of Environmental Protection (MASSDEP) will be some, but not all, of the approvals required. Approval will require attendance at public hearings.
3. Submit DD Plans and Specifications to the Board of Fire Commissioners for approval.
4. Provide a budget check price for the station addition and renovation from a cost consultant at the completion of this phase of the design.

### **Construction Document Phase:**

Once approvals have been obtained in the DD Phase, proceed to develop a complete Construction Document set of plans and specifications for the project. The Construction Documents (CD) must comply with public bidding laws in the Commonwealth of Massachusetts. This will include:

1. Bid documents (Form of Contract, Bid Forms, General Conditions and Supplementary General Conditions) for both General Construction and Filed Sub Bids.
2. Final Construction plans and specifications based on the approved DD documents.
3. Complete coordination of documents, i.e., details showing how ductwork, piping, lighting, structural elements fit into the whole of the design.

4. Documents (plans and specifications) shall include site plans, landscaping plans, site utilities plans, floor plans, with enlargements for special areas within the building, elevations, sections, details, finishes plans, reflected ceiling plans, furnishings plans, fire protection, plumbing, heating, ventilating and air conditioning, and electrical plans, telecommunications and data plans, station alerting system, radio systems, intercom, security and alarm systems plans.
5. Provide a construction check price from the cost consultant at each of the following stages of the design:
  - a. 50% Construction Documents
  - b. 90% Construction Documents
6. Obtain approval of the construction documents from the Board of Fire Commissioners.
7. Assist the Board of Fire Commissioners in issuing the documents for bidding. This may include publishing the documents on a secure online platform.

### **Bidding Phase**

Once the documents have been issued for bid provide the following:

1. Assistance with bid openings and evaluation of the bids.
2. Recommend to the Board of Fire Commissioners for approval or rejection of any or all bids.
3. Assist the Board of Fire Commissioners in awarding the final construction contracts to the successful bidder(s). This includes assisting with the final form of contract(s).

### **Construction Phase:**

During the construction phase of the work provide the following:

1. Attend construction kickoff meeting.
2. Review and approve all submittals for the work for conformance with the plans and specifications.
3. Review and respond to all Requests for Information (RFI) from the contractors.
4. Issue appropriate clarification documents as required by response to RFI.
5. Prepare change order documents (if needed) and issue them to the contractors for pricing.
6. Seek approval of the District in evaluating all proposed change orders for approval.
7. Issue appropriate change documents to the contractors for implementation by them.
8. Attend weekly construction meetings on site during the construction work.
9. Visit the site during ongoing work to inspect the work and determine if the work complies with the plans and specifications.
10. Provide a site representative to be on site when construction work is ongoing to provide daily progress reports of the work. Site representative will maintain a log of the work and construction personnel onsite and will attend the weekly project meetings. The site representative shall keep the Owner and design teams informed of progress in a timely fashion so as to anticipate when site visits by the team will be required to keep the progress moving forward efficiently. The Site Representative of the architect shall also be

responsible for tracking any conflicts or unforeseen conditions that arise during the work until appropriate change documents or clarifications are issued by the design team.

**Qualifications Required:**

The successful design candidate(s) shall have multiple years of experience in the siting and design of fire stations and/or combined municipal buildings of this type. Expertise in the code requirements of this type of building along with an understanding of the hazard zones unique to fire stations is also required. Experience in design for environmentally sensitive areas is also important.

Candidates will also be evaluated on their experience working in the Commonwealth of Massachusetts and on Cape Cod.

Responses should include a minimum of three (3) examples of similar projects completed by the responding company and/or team in the last 5 years. These examples must include a description of the project and contact information for the local town and/or district representative involved in those projects. Additionally, three (3) other client references must be included with contact information for the purpose of obtaining information on the ability of the respondent to address the needs of the district. Provide proposed personnel to staff the project. Additionally, the experience of individuals proposed for project staff in this type of building will be considered in the evaluation.

**Owner's Project Manager (OPM)**

It should be noted that the District will appoint an independent Owner's Project Manager to oversee the design and construction work. The successful architectural team will work with the OPM. The OPM will act for the Cotuit Fire District as its representative and agent and will report to the owner.

**Submission of Qualifications**

Responses shall be submitted as one hard copy printed on 8½" x 11" paper and one electronic copy in PDF format. The electronic copy shall be contained on a flash drive/USB stick. Responses shall contain the following at a minimum:

1. A cover letter stating the name of the project, the name and address of the respondent.
2. Responses to the District shall be addressed to:

Cotuit Fire District  
Attn: Board of Fire Commissioners Chairman Kevin Conley  
64 High Street  
Cotuit, MA 02635

3. Responses must contain the attached forms as spelled out in the General Specifications section of this RFP.
4. Responses must contain a description of the project team including all subconsultants proposed team members including the Senior Principal in Charge of the work, the Design Project Manager, and assistants. The listing of personnel should state their roles and specialties (space planner, interior design, etc.)
5. Work experience and references as noted in the detail above.
6. Other information the respondent may wish to include to help the Board of Fire Commissioners evaluate the response.
7. The response must include a statement that all materials contained in this RFQ have been reviewed. A particular acknowledgement of the design and construction schedule is required. The District plans to follow this design and construction schedule will all reasonable diligence.

Responses must be submitted NO LATER THAN 2:00 PM on September 6, 2024. Responses shall be submitted to:

Cotuit Fire District  
Attn: Board of Fire Commissioners Chairman Kevin Conley  
64 High Street  
Cotuit, MA 02635

**An informational meeting and tour of the existing Fire Station and proposed site will be held at 1:00 PM on August 26, 2024, at 64 High Street, Cotuit Massachusetts to review this RFP and answer questions from the respondents.**

This Request for Qualification shall not be considered a contract for any design services beyond those described herein. All work products produced by this Design Process including plans, narrative descriptions, artwork, elevations, site plans, and budget documents shall be the sole property of the Cotuit Fire District for their use. This includes communicating with the Town of Barnstable and the District Voters, issuing additional requests for proposals for additional design services. The materials may also be used in acquiring funding for the project.

1. It should be understood that the District reserves the right to terminate this work at any time. All work products up to such termination will be the property of the District once payment obligations for services rendered up to the date of termination have been met.
2. It is the Applicant's responsibility to ensure that all work is being performed to applicable standards. The Cotuit Fire District will require the following information/documents from the Respondent based on the scope of work being performed, as applicable:
  - a. Standard Designer Application Form
  - b. Certificate of Liability Insurance and Errors and Omissions Insurance
  - c. Certificate of Non-Collusion
  - d. Tax Attestation Certificate

- e. Current trade-specific Massachusetts License
- 3. This project shall be required to follow all Massachusetts Prevailing Wage requirements relative to the project.
- 4. Definition of Responsive and Responsible Applicant
  - a. Responsive Applicant: A person or firm who has submitted a Response that conforms in all respect to the RFQ.
  - b. Responsible Applicant: One who has the capability to perform fully the contract requirements, and the integrity and reliability that assure good faith performance.
- 5. In accordance with Chapter 149, audited financial statements may be requested from the Contractor by the Cotuit Fire District.

Bids are subject to the provisions of M.G.L. Chapter 149, Section 44A to J as amended to date. Wages are subject to minimum wage rates as per M.G.L. Chapter 149, Section 26-27H as amended. The right is reserved by the Cotuit Fire District to reject or accept any or all applications if it is in the public interest to do so.

**COTUIT FIRE DISTRICT**  
**CERTIFICATE OF NON-COLLUSION**

The undersigned certifies under penalties of perjury that this Quote has been made and submitted in good faith and without collusion or fraud with any other person. As used in this certification the word "person" shall mean any natural person, business, partnership, corporation, union, committee, club or other organization, entity, or group of individuals.

FIRM: \_\_\_\_\_

ADDRESS:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
SIGNATURE

\_\_\_\_\_  
NAME (print)

\_\_\_\_\_  
DATE

\_\_\_\_\_  
TITLE

**COTUIT FIRE DISTRICT**  
**STATE TAX CERTIFICATION CLAUSE**

I certify under the penalties of perjury that I, to my best knowledge and belief, have filed all State Tax returns and paid all State Taxes under law.

\_\_\_\_\_  
\* Signature of Individual or  
Corporate Name (Mandatory)

By: \_\_\_\_\_  
Corporate Officer  
(Mandatory, if applicable)

\_\_\_\_\_  
\*\*Social Security No. (Voluntary)  
or Federal Identification No.

\* Approval of a contract or other agreement will not be granted unless this certification clause, is signed,

\*\*Your Social Security Number will be furnished to the Massachusetts Department of Revenue to determine whether you have met tax filing or tax payment obligations. Providers who fail to correct their non-filing or delinquency **will not have a contract or agreement issued, reviewed, or extended**. This request is made under the authority of Mass. G.L. 62C, S.49A.

## COTUIT FIRE DISTRICT

### REFERENCES

**BIDDER NAME:** \_\_\_\_\_

Bidders must provide a list of at least three (3) references to which similar size and scope projects have been completed within the past five (5) years, along with the name of a contact person and phone numbers. (Municipalities desired, if applicable). Additionally, please attach to this form a complete list of ongoing projects, projects completed within the past two (2) years including project contact names, values and contact names and numbers. The Cotuit Fire District reserves the right to obtain additional references at their option.

1. Town \_\_\_\_\_ Contact \_\_\_\_\_  
Project Date \_\_\_\_\_ Phone \_\_\_\_\_  
Project Value and Description \_\_\_\_\_  
\_\_\_\_\_

2. Town \_\_\_\_\_ Contact \_\_\_\_\_  
Project Date \_\_\_\_\_ Phone \_\_\_\_\_  
Project Value and Description \_\_\_\_\_  
\_\_\_\_\_

3. Town \_\_\_\_\_ Contact \_\_\_\_\_  
Project Date \_\_\_\_\_ Phone \_\_\_\_\_  
Project Value and Description \_\_\_\_\_  
\_\_\_\_\_



**COTUIT FIRE DISTRICT**

**TAX EXEMPTION  
NUMBER**

Date \_\_\_\_\_

TO WHOM IT MAY CONCERN:

This is to certify that whenever materials and supplies are purchased for projects awarded by bid for the Cotuit Fire District, all materials used on these projects are tax exempt.

**Our Tax Exempt number is 046-002-338.**

Sean W. Brown  
Fire Chief

**Proposed Project Schedule:**

It is intended that this Project will proceed according to the following steps:

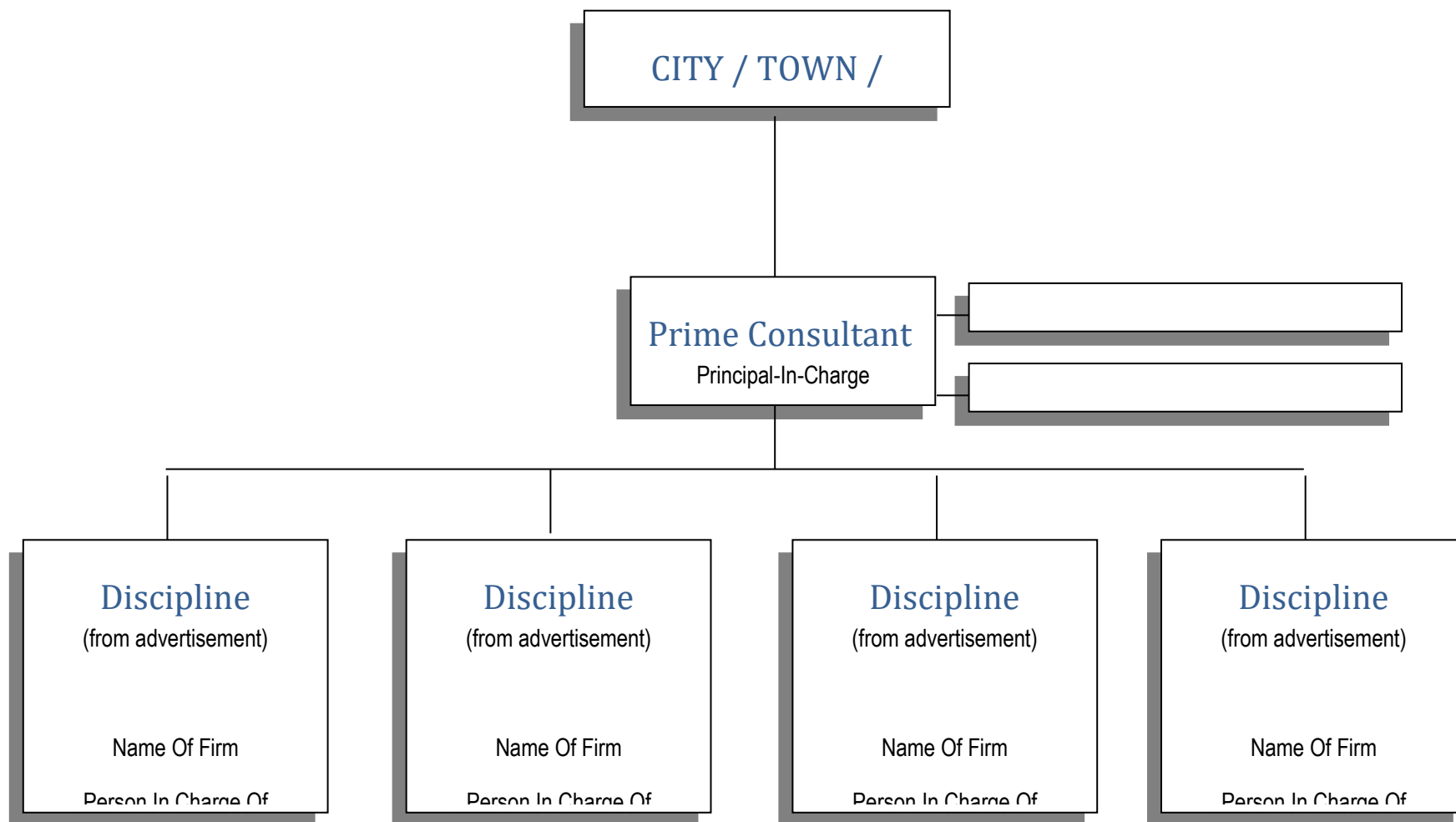
<b>Milestone</b>	<b>Date</b>
Publish RFQ on Fire Department & District Website and issue Public Notices to Appropriate Public Outlets	August 19, 2024
Informational Meeting & Tour at 1:00 PM	August 26, 2024,
Submission of Questions to the District	September 3, 2024
Submission of Qualifications	September 19, 2024
Review by the Board of Fire Commissioners & Staff	September 19-23, 2024
Solicitation of Fee Proposal from Recommended Design Team(s)	September 23, 2024
Recommendation of the Selected Design Team and Fee to Board of Fire Commissioners	October 7, 2024
Negotiation and Contract with Notice to Proceed	October 14, 2024
Schematic Design Phase Complete	December 16, 2024
Design Development Phase Complete	January 17, 2025
Construction Document Phase Complete	February 18, 2025
Bid Evaluation	May 1, 2025
Construction Phase	July 1, 2025, to June 30, 2027

**Attachments:**

1. Preliminary Facility Needs Report.
2. Conceptual drawings and site plan.

<b>Commonwealth of Massachusetts</b>  <b>Standard Designer Application</b> <b>Form for Municipalities and Public</b> <b>Agencies not within DSB</b> <b>Jurisdiction (Updated July 2016)</b>	1. Project Name/Location For Which Firm Is Filing:		2. Project #																																																																	
			This space for use by Awarding Authority only.																																																																	
3a. Firm (Or Joint-Venture) – Name and Address Of Primary Office To Perform The Work:		3. Name Of Proposed Project Manager: For Study: (if applicable) For Design: (if applicable)																																																																		
3b. Date Present and Predecessor Firms Were Established:		3f. Name and Address Of Other Participating Offices Of The Prime Applicant, If Different From Item 3a Above:																																																																		
3c. Federal ID #:		3g. Name and Address Of Parent Company, If Any:																																																																		
3d. Name and Title Of Principal-In-Charge Of The Project (MA Registration Required):   <div style="display: flex; justify-content: space-between;"> <div style="width: 45%;">Email Address:</div> <div style="width: 45%;">           3. Check Below If Your Firm Is Either:           <div style="display: flex; justify-content: flex-end; align-items: center;"> <input type="checkbox"/> </div> </div> </div> <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <div style="width: 45%;">Telephone No:</div> <div style="width: 45%;">           (1) SDO Certified Minority Business Enterprise (MBE) <input type="checkbox"/>            (2) SDO Certified Woman Business Enterprise (WBE) <input type="checkbox"/>            (3) SDO Certified Minority Woman Business Enterprise (M/WBE) <input type="checkbox"/>            (4) SDO Certified Service Disabled Veteran Owned Business Enterprise (SDVOBE) <input type="checkbox"/>            (5) SDO Certified Veteran Owned Business Enterprise (VBE) <input type="checkbox"/> </div> </div> <div style="width: 45%;">Fax No.:</div>																																																																				
4. <b>Personnel From Prime Firm Included In Question #3a Above</b> By Discipline (List Each Person Only Once, By Primary Function – Average Number Employed Throughout The Preceding 6 Month Period. Indicate Both The Total Number In Each Discipline And, Within Brackets, The Total Number Holding Massachusetts Registrations):																																																																				
<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 20%;">Admin. Personnel</td> <td style="width: 10%;">_____ ( _____ )</td> <td style="width: 20%;">Ecologists</td> <td style="width: 10%;">_____ ( _____ )</td> <td style="width: 20%;">Licensed Site Profs.</td> <td style="width: 10%;">_____ ( _____ )</td> <td style="width: 10%;">Other</td> <td style="width: 10%;">_____ ( _____ )</td> </tr> <tr> <td>Architects</td> <td>_____ ( _____ )</td> <td>Electrical Engrs.</td> <td>_____ ( _____ )</td> <td>Mechanical Engrs.</td> <td>_____ ( _____ )</td> <td></td> <td>_____ ( _____ )</td> </tr> <tr> <td>Acoustical Engrs.</td> <td>_____ ( _____ )</td> <td>Environmental</td> <td>_____ ( _____ )</td> <td>Planners: Urban./Reg.</td> <td>_____ ( _____ )</td> <td></td> <td>_____ ( _____ )</td> </tr> <tr> <td>Civil Engrs.</td> <td>_____ ( _____ )</td> <td>Fire Protection</td> <td>_____ ( _____ )</td> <td>Specification Writers</td> <td>_____ ( _____ )</td> <td></td> <td>_____ ( _____ )</td> </tr> <tr> <td>Code Specialists</td> <td>_____ ( _____ )</td> <td>Geotech. Engrs.</td> <td>_____ ( _____ )</td> <td>Structural Engrs.</td> <td>_____ ( _____ )</td> <td></td> <td>_____ ( _____ )</td> </tr> <tr> <td>Construction Inspectors</td> <td>_____ ( _____ )</td> <td>Industrial</td> <td>_____ ( _____ )</td> <td>Surveyors</td> <td>_____ ( _____ )</td> <td></td> <td>_____ ( _____ )</td> </tr> <tr> <td>Cost Estimators</td> <td>_____ ( _____ )</td> <td>Interior Designers</td> <td>_____ ( _____ )</td> <td></td> <td>_____ ( _____ )</td> <td></td> <td>_____ ( _____ )</td> </tr> <tr> <td>Drafters</td> <td>_____ ( _____ )</td> <td>Landscape</td> <td>_____ ( _____ )</td> <td></td> <td>_____ ( _____ )</td> <td>Total</td> <td>_____ ( _____ )</td> </tr> </table>					Admin. Personnel	_____ ( _____ )	Ecologists	_____ ( _____ )	Licensed Site Profs.	_____ ( _____ )	Other	_____ ( _____ )	Architects	_____ ( _____ )	Electrical Engrs.	_____ ( _____ )	Mechanical Engrs.	_____ ( _____ )		_____ ( _____ )	Acoustical Engrs.	_____ ( _____ )	Environmental	_____ ( _____ )	Planners: Urban./Reg.	_____ ( _____ )		_____ ( _____ )	Civil Engrs.	_____ ( _____ )	Fire Protection	_____ ( _____ )	Specification Writers	_____ ( _____ )		_____ ( _____ )	Code Specialists	_____ ( _____ )	Geotech. Engrs.	_____ ( _____ )	Structural Engrs.	_____ ( _____ )		_____ ( _____ )	Construction Inspectors	_____ ( _____ )	Industrial	_____ ( _____ )	Surveyors	_____ ( _____ )		_____ ( _____ )	Cost Estimators	_____ ( _____ )	Interior Designers	_____ ( _____ )		_____ ( _____ )		_____ ( _____ )	Drafters	_____ ( _____ )	Landscape	_____ ( _____ )		_____ ( _____ )	Total	_____ ( _____ )
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Drafters	_____ ( _____ )	Landscape	_____ ( _____ )		_____ ( _____ )	Total	_____ ( _____ )																																																													
5. Has this Joint-Venture previously worked together? <div style="display: flex; justify-content: flex-end; align-items: center; margin-top: 5px;"> <input type="checkbox"/> Yes         <input style="margin-left: 20px;" type="checkbox"/> No       </div>																																																																				

6. List **ONLY** Those Prime And Sub-Consultant Personnel Specifically Requested In The Advertisement. This Information Should Be Presented Below In The Form Of An Organizational Chart. Include Name Of Firm And Name Of The One Person In Charge Of The Discipline, With Mass. Registration Number, As Well As MBE/WBE Status, If Applicable:



<p>7. Brief Resume of ONLY those Prime Applicant and Sub-Consultant personnel requested in the Advertisement. <u>Include Resumes of Project Managers.</u> Resumes should be consistent with the persons listed on the Organizational Chart in Question # 6. Additional sheets should be provided only as required for the number of Key Personnel requested in the Advertisement and they must be in the format provided. By including a Firm as a Sub-Consultant, the Prime Applicant certifies that the listed Firm has agreed to work on this Project, should the team be selected.</p>	
a. Name and Title Within Firm:	a. Name and Title Within Firm:
b. Project Assignment:	b. Project Assignment:
<p>c. Name and Address Of Office In Which Individual Identified In 7a Resides:</p> <p style="text-align: right;">MBE <input type="checkbox"/></p> <p style="text-align: right;">WBE <input type="checkbox"/></p> <p style="text-align: right;">SDVOBE <input type="checkbox"/></p> <p style="text-align: right;">VBE <input type="checkbox"/></p>	<p>c. Name and Address Of Office In Which Individual Identified In 7a Resides:</p> <p style="text-align: right;">MBE <input type="checkbox"/></p> <p style="text-align: right;">WBE <input type="checkbox"/></p> <p style="text-align: right;">SDVOBE <input type="checkbox"/></p> <p style="text-align: right;">VBE <input type="checkbox"/></p>
d. Years Experience: With This Firm: _____ With Other Firms: _____	d. Years Experience: With This Firm: _____ With Other Firms: _____
e. Education: Degree(s) /Year/Specialization	e. Education: Degree(s) /Year/Specialization
f. Active Registration: Year First Registered/Discipline/Mass Registration Number	f. Active Registration: Year First Registered/Discipline/Mass Registration Number
g. Current Work Assignments and Availability For This Project:	g. Current Work Assignments and Availability For This Project:
h. Other Experience and Qualifications Relevant To The Proposed Project: (Identify Firm By Which Employed, If Not Current Firm):	h. Other Experience and Qualifications Relevant To The Proposed Project: (Identify Firm By Which Employed, If Not Current Firm):

8a. Current and Relevant Work By Prime Applicant Or Joint-Venture Members. Include **ONLY** Work Which Best Illustrates Current Qualifications In The Areas Listed In The Advertisement (List Up To But Not More Than 5 Projects).

a. Project Name And Location Principal-In-Charge	b. Brief Description Of Project And Services (Include Reference To Relevant Experience)	c. Client's Name, Address And Phone Number (Include Name Of Contact Person)	d. Completion Date (Actual Or Estimated)	e. Project Cost (In Thousands)	
				Construction Costs (Actual, Or Estimated If Not Completed)	Fee for Work for Which Firm Was Responsible
(1)					
(2)					
(3)					
(4)					
(5)					

8b. List Current and Relevant Work By Sub-Consultants Which Best Illustrates Current Qualifications In The Areas Listed In The Advertisement (Up To But Not More Than 5 Projects For Each Sub-Consultant). Use Additional Sheets Only As Required For The Number Of Sub-Consultants Requested In The Advertisement.					
Sub-Consultant Name:					
a. Project Name and Location Principal-In-Charge	b. Brief Description Of Project and Services (Include Reference To Relevant Experience	c. Client's Name, Address And Phone Number. Include Name Of Contact Person	d. Completion Date (Actual Or Estimated)	e. Project Cost (In Thousands)	
				Construction Costs (Actual, Or Estimated If Not Completed)	Fee For Work For Which Firm Was/Is Responsible
(1)					
(2)					
(3)					
(4)					
(5)					

9. List All Projects Within The Past 5 Years For Which Prime Applicant Has Performed, Or Has Entered Into A Contract To Perform, Any Design Services For All Public Agencies Within The Commonwealth.

# of Total Projects:	# of Active Projects:	Total Construction Cost (In Thousands) of Active Projects (excluding studies):
----------------------	-----------------------	---

Role P, C, JV *	Phases St., Sch., D.D., C.D.,A.C.*	Project Name, Location and Principal-In-Charge	Awarding Authority (Include Contact Name and Phone Number)	Construction Costs (In Thousands) (Actual, Or Estimated If Not	Completion Date (Actual or Estimated) Renovation or (N)New
		1.			
		2.			
		3.			
		4.			
		5.			
		6.			
		7.			
		8.			
		9.			
		10.			
		11.			
		12.			



\* P = Principal; C = Consultant; JV = Joint Venture; St. = Study; Sch. = Schematic; D.D. = Design Development; C.D. = Construction Documents; A.C. = Administration of Contract

10. Use This Space To Provide Any Additional Information Or Description Of Resources Supporting The Qualifications Of Your Firm And That Of Your Sub-Consultants For The Proposed Project. If Needed, Up To Three, Double-Sided 8 1/2" X 11" Supplementary Sheets Will Be Accepted. **APPLICANTS ARE ENCOURAGED TO RESPOND SPECIFICALLY IN THIS SECTION TO THE AREAS OF EXPERIENCE REQUESTED IN THE ADVERTISEMENT.**

**Be Specific – No Boiler Plate**

11. Professional Liability Insurance:

Name of Company	Aggregate Amount	Policy Number	Expiration Date
-----------------	------------------	---------------	-----------------

12. Have monies been paid by you, or on your behalf, as a result of Professional Liability Claims (in any jurisdiction) occurring within the last 5 years and in excess of \$50,000 per incident? Answer **YES** or **NO**. If YES, please include the name(s) of the Project(s) and Client(s), and an explanation (attach separate sheet if necessary).

13. Name Of Sole Proprietor Or Names Of All Firm Partners and Officers:

Name	Title	MA Reg #	Status/Discipline	Name	Title	MA Reg #	Status/Discipline
a.				d.			
b.				e.			
c.				f.			

14. If Corporation, Provide Names Of All Members Of The Board Of Directors:

Name	Title	MA Reg #	Status/Discipline	Name	Title	MA Reg #	Status/Discipline
a.				d.			
b.				e.			
c.				f.			

15. Names Of All Owners (Stocks Or Other Ownership):

Name And Title	% Ownership	MA. Reg.#	Status/Discipline	Name And Title	% Ownership	MA. Reg.#	Status/Discipline
a.				d.			
b.				e.			
c.				f.			

16. I hereby certify that the undersigned is an Authorized Signatory of Firm and is a Principal or Officer of Firm. I further certify that this firm is a "Designer", as that term is defined in Chapter 7C, Section 44 of the General Laws, or that the services required are limited to construction management or the preparation of master plans, studies, surveys, soil tests, cost estimates or programs. The information contained in this application is true, accurate and sworn to by the undersigned under the pains and penalties of perjury.

Submitted by \_\_\_\_\_ Printed Name and Title \_\_\_\_\_ Date \_\_\_\_\_  
(Signature)

ATTACHMENT 1

Preliminary Facility Needs Report



# Cotuit Fire, Rescue and Emergency Services

64 High Street – PO Box 1632 – Cotuit, MA 02635  
Office: (508) 428-2210 – Fax: (508) 428-0202 – [www.cotuitfire.org](http://www.cotuitfire.org)



## Cotuit Fire Station Needs Report

Updated for the

Cotuit Fire District Board of Fire Commissioners

Sean Brown, Fire Chief

Shane Clark, Deputy Chief

September 2023



# Cotuit Fire, Rescue and Emergency Services

64 High Street – PO Box 1632 – Cotuit, MA 02635  
Office: (508) 428-2210 – Fax: (508) 428-0202 – [www.cotuitfire.org](http://www.cotuitfire.org)



The Cotuit Fire Department requires the construction and/or renovation of facilities that will support the delivery of fire and emergency services well into the future. The following sections provide information regarding current conditions and future needs.

## **Apparatus Storage Bays**

The fire station currently has 3,450 square feet of apparatus storage space. This area includes 1,625 square feet in the upper bays, constructed in 1938, and houses one fire engine and two ambulances. The lower apparatus bay, built in 1990, includes 1,825 square feet and houses a backup ambulance and support vehicles.

Emergency vehicle sizes and safety standards have changed dramatically since 1990. Current standards for apparatus bays include 14'x 14' doors and eight ft. minimum clearance between vehicles. The apparatus ceiling heights are 9'9", and the distance between vehicles is about five feet or less. These clearance restrictions require custom modification to vehicle designs, increasing the cost of the equipment and reducing some of the functionality.

The Safety and Health Considerations for the Design of Fire and Emergency Medical Services Stations (FEMA, 2018) recommends using nonslip floor coatings to help prevent firefighter injuries. Nonslip flooring can be applied to our existing station floors. However, based on the vintage of the building and the presence of moisture below the slab, there is potential for added maintenance costs in the future.

As firefighting apparatus evolves and the scope of the job evolves, standard-sized fire apparatus cannot fit within our station. Managing large or multiple emergencies requires mutual



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assistance from neighboring fire departments to assist with our operations. Most mutual aid vehicles will not fit in the current apparatus bays. This lack of space leads to the potential for them to be left outside in cold weather with the engine running while covering the district. In addition, a new facility could incorporate fire and rescue training props within the apparatus bays without increasing size or required space. Future needs require adequate space for the garaging of one fire engine, one aerial apparatus, two ambulances, and two to three support vehicles.

### **Firefighter Gear Storage / Decontamination room**

Cancer rates among firefighters are significantly more significant than the public. One major cause for this is exposure to the toxic gases produced from burning alternative materials and adhesives utilized in the construction of modern homes. These gases and carcinogenic particulates permeate our protective clothing and return to the station with the protective equipment. According to FEMA (2018), isolating, capturing, and removing carcinogens is a significant challenge in designing fire and emergency services facilities to minimize cancer risks.

Modern fire station designs allow firefighters returning from a fire station to walk from the apparatus to a decontamination room (hot side) to remove their protective clothing, a decontamination area to clean their gear, and then shower before stepping into the living area (cold side). The station should allow for personal protective equipment and reusable medical equipment to be cleaned upon return to the station in a decontamination room.

The station has no decontamination room and only a tiny gear storage room not sealed off from the living area. Personal protective equipment and medical decontamination are completed on the apparatus floor with a garden hose. Then, the protective fire gear is brought through the



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living area to the gear cleaner/extractor in the lower apparatus bays. A new facility design would require a dedicated decontamination room with showers, gear cleaners, and a dedicated gear storage room, all isolated from the living space and office areas.

### **Walk In Patient Assessment and Care Room**

Regularly, residents and visitors of the village walk into the station looking for medical assessment and advice. Currently, the only area to provide this service is in the lobby of the fire station or the back of the ambulance if it is available. In addition, with the evolution of community paramedicine and mobile integrated healthcare, the role of prehospital providers will continue to evolve. With this evolution, the need for a private and HIPPA-compliant area for patient care in the fire station has become a reality.

### **Medical Storage**

Each year, the Commonwealth of Massachusetts Office of Emergency Services increases pre-hospital EMS providers' required skills and procedures. Every new skill and procedure comes with new equipment and supplies. Paramedics provide a high level of pre-hospital care. Therefore, the ambulance carries a lot of equipment to prepare for every emergency. The increased medical requirements result in many expendable supplies to replace one-time-use equipment and increased security and environmental requirements for medications. The EMS storage room at the current station is full and unable to store all the required equipment. Therefore, additional supplies are stored in different locations around the station. In addition, the existing EMS supply room is in the upper apparatus bay and has the potential for diesel exhaust from the apparatus to enter the supply room.



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## **Living Area**

The Cotuit Fire Station is operated by at least three firefighters twenty-four hours a day, 365 days a year. In addition, two administrative staff members are in the building during regular work hours. The living area provides facilities to prepare food, eat meals, watch TV, and periodically rest between calls during a twenty-four-hour shift. The fire station currently has approximately 1,593 ft<sup>2</sup> for these functions, which includes three bunk rooms. A fourth bunkroom is required to accommodate increased staffing during major events and to be prepared for any staffing increases that could be required in the future.

## **Office/Admin Space**

The current Cotuit station design has an office for the Chief, Deputy, Captain, a small foyer, handicap public restroom, and a small 6-person conference room. The current OSHA and accessibility required renovations have required us to move the office from the second floor to the first floor. This redesign has resulted in the loss of our training room and results in the Firefighters having to use a small desk in the TV room as a report writing room. Many of our training programs require all 14 firefighters or a majority to be present at the same time and seated. A training room which would accommodate all 14 firefighters and a report writing room would be required to meet current and future needs. Future renovations or construction requires the inclusion of work space for police officers to conduct report writing and office activities.

## **Fitness Facility**

On Duty Firefighter injury is a major expense for all fire departments. It is much more economical to provide fitness equipment and motivate physical and mental fitness than to suffer



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the costs of frequent injuries and sick time. Our current 240 ft<sup>2</sup> gym is very well used but only big enough for a single firefighter to use at a time. The staff must coordinate with on duty and off duty firefighters to share the facility. A 750ft<sup>2</sup> gym which would allow all three on duty firefighters to work out together would allow for more total hours of usage and be a motivation to increase fitness.



## ATTACHMENT 2

### Conceptual Drawings and Site Plan

# Cotuit Fire Space Needs Feasibility Study

Cotuit Fire District  
64 High Street, Cotuit, MA



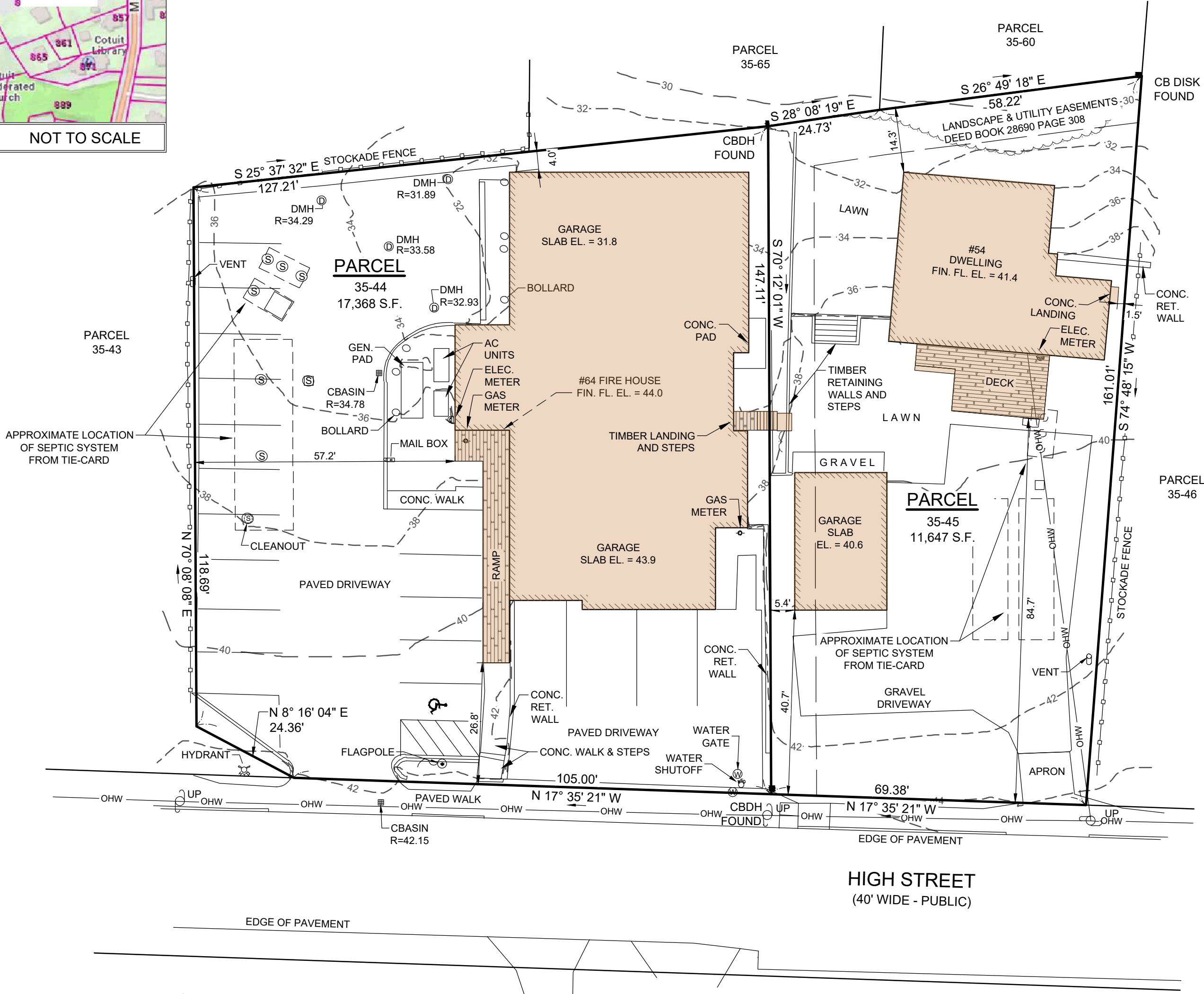
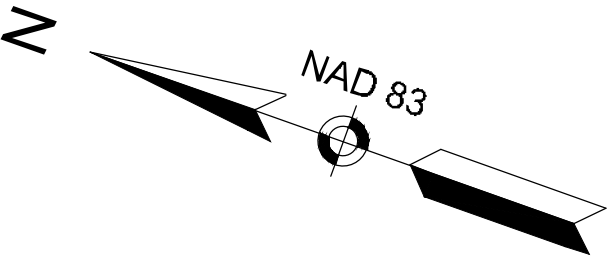
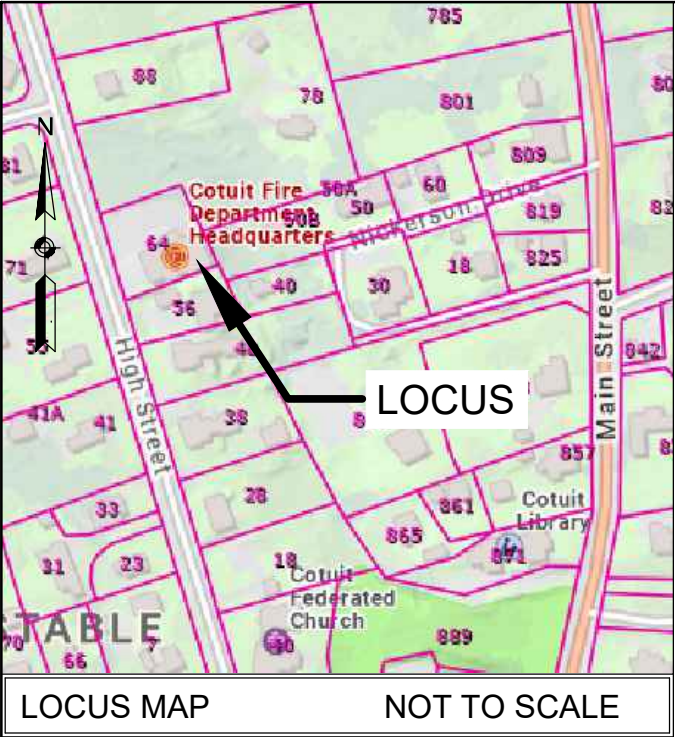
203 WILLOW STREET, SUITE A YARMOUTHPORT, MA 02675  
P. 508-362-8382 WWW.CATALYSTARCHITECTS.COM

05.02.2024  
ISSUED FOR PRICING

## SCHEDULE OF DRAWINGS

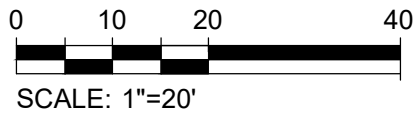
COVER SHEETS	
A0.0	COVER SHEET
CIVIL	
ECP	EXISTING CONDITIONS PLAN (DRAFT)
SP	CONCEPTUAL SITE PLAN (DRAFT)
ARCHITECTURAL DEMOLITION	
D0.1	EXISTING/ DEMOLITION SITE PLAN
D1.0	DEMOLITION FLOOR PLANS
D2.0	DEMOLITION ELEVATIONS
D2.1	DEMOLITION ELEVATIONS
ARCHITECTURAL PROPOSED	
A0.1	CONCEPTUAL SITE PLAN
A1.0	CONCEPTUAL FLOOR PLANS
A1.1	FINISH FLOOR PLANS
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A3.1	BUILDING SECTIONS
A3.2	CONCEPTUAL PERSPECTIVE VIEWS





LEGEND

- |      |                    |     |                   |
|------|--------------------|-----|-------------------|
| ■ CB | CONCRETE BOUND     | ●   | CONIFEROUS TREE   |
| ■ SB | STONE BOUND        | ●   | DECIDUOUS TREE    |
| ● RC | ROD CAP            | ●   | TREE STUMP        |
| ○ IP | IRON PIPE FOUND    | ●   | SHRUB             |
| ⊗    | HYDRANT            | ●   | CONIFEROUS SHRUB  |
| ⊗    | WATER SHUTOFF      | --- | TREE LINE         |
| ⊗    | CATCH BASIN SQUARE | --- | OVERHEAD WIRES    |
| ⊗    | UTILITY POLE       | --- | STONE WALL        |
| ⊗    | GUY POLE           | --- | POST & RAIL FENCE |
| ⊗    | GUY WIRE           | --- | STOCKADE FENCE    |
| ⊗    | LIGHT POLE         | --- | PICKET ROW        |
| ⊗    | SIGN               | --- | CHAIN LINK FENCE  |
|      |                    | --- | AREA OF STRUCTURE |



GENERAL NOTES

LOCATIONS ARE BASED ON AN "ON THE GROUND" INSTRUMENT SURVEY AND ELEVATIONS BASED ON THE NAVD 1988 DATUM. COORDINATE SYSTEM USED IS THE MA-MAINLAND COORDINATE SYSTEM, DATUM: NAD 83, UNITS: U.S. SURVEY FEET.

DIMENSIONS OF EXISTING BUILDINGS AND BUILDING OFFSETS SHOWN HEREON ARE TO CORNER BOARDS OR SIDING EXTENTS AND ARE DISPLAYED IN ENGINEERING UNITS WITH A PRECISION OF ONE TENTH (0.1') OF A FOOT. LOT COVERAGE IS CALCULATED TO CORNER BOARDS.

THE FINISHED FLOOR ELEVATION (FIN. FL. EL.) SHOWN HEREON IS BASED ON AN ASSUMED 1" LOWER THAN THE SURVEYED THRESHOLD ELEVATION. AN INTERIOR INSPECTION OF BUILDINGS WAS NOT PERFORMED.

ZONING DISTRICT: RF

PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF MINIMAL FLOOD ZONE HAZARD X BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 25001C0756J, WITH A MAP EFFECTIVE DATE OF JULY 16, 2014.

PROPERTY IS NOT LOCATED WITHIN A DEP APPROVED ZONE II WELLHEAD PROTECTION AREA.

PROPERTY IS NOT MAPPED WITHIN A MESA NATURAL HERITAGE AND ENDANGERED SPECIES AREA.

PROPERTY IS WITHIN THE RESOURCE PROTECTION OVERLAY DISTRICT

PROPERTY IS LOCATED WITHIN THE SALTWATER ESTUARY PROTECTION OVERLAY DISTRICT

WIND EXPOSURE CATEGORY: ZONE B

PARCEL 35-44 LOT AREA = 17,368 S.F.

PARCEL 35-45 LOT AREA = 11,647 S.F.

A COMPREHENSIVE ZONING ANALYSIS HAS NOT BEEN PERFORMED BEYOND THE ITEMS LISTED ABOVE.

DEED REFERENCE: BOOK 462 PAGE 325, BOOK 1245 PAGE 596, BOOK 7026 PAGE 85 & BOOK 28720 PAGE 183

PLAN REFERENCE: BOOK 184 PAGE 59 F2, BOOK 466 PAGE 78 & BOOK 473 PAGE 77

OWNER: COTUIT FIRE DISTRICT  
64 HIGH STREET  
COTUIT, MA 02635

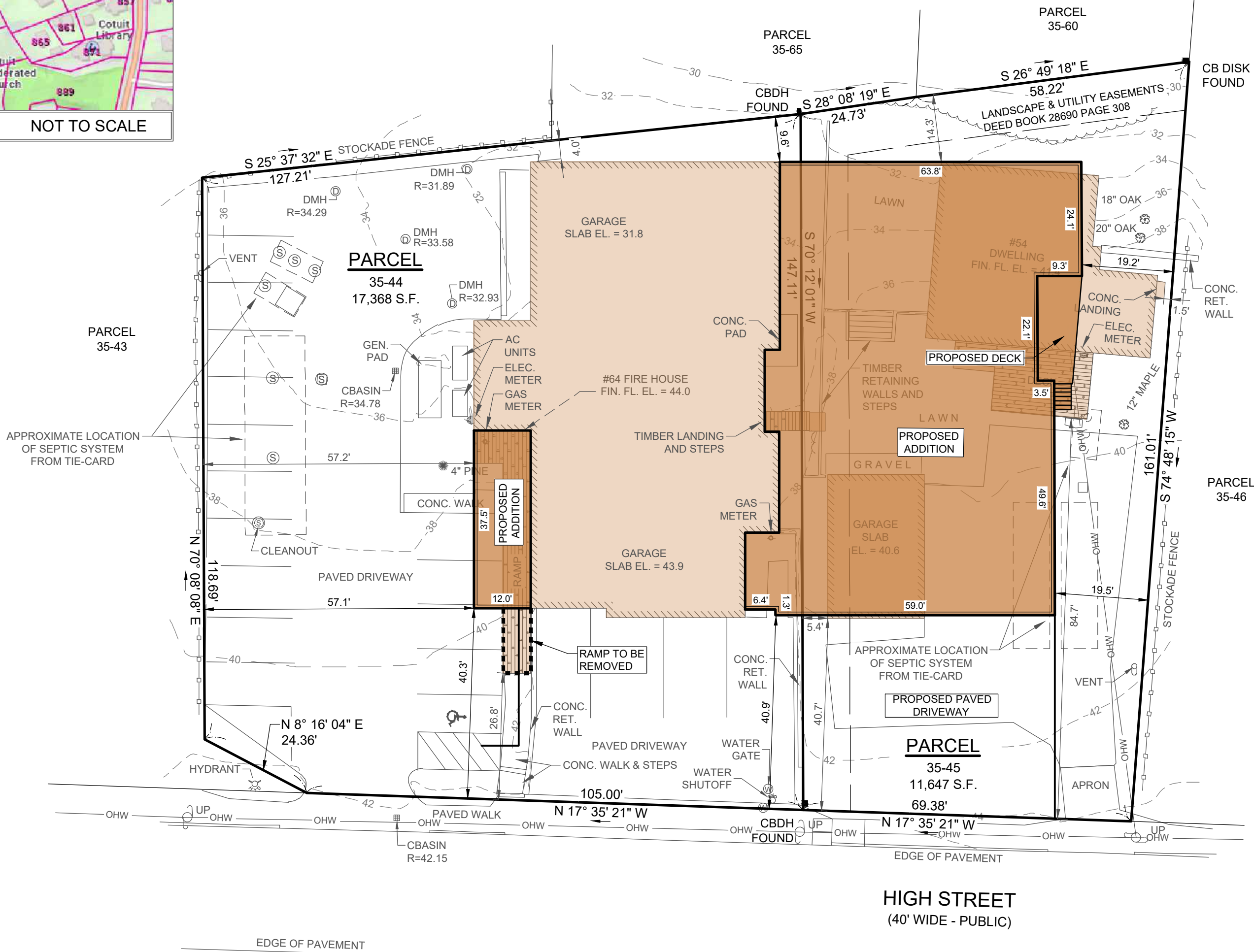
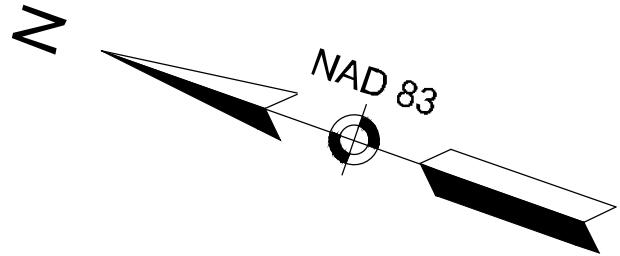
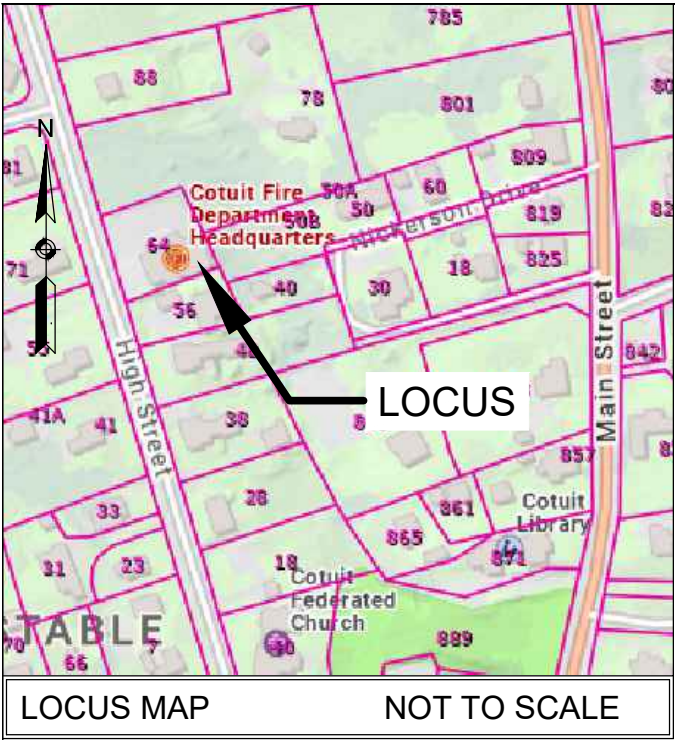
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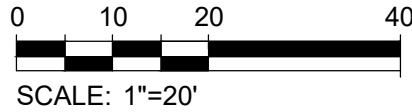
DATE	DESCRIPTION	BY	CHK
PREPARED FOR:			
COTUIT FIRE DISTRICT 64 HIGH STREET COTUIT, MA 02635			
PROJECT:			
56-64 HIGH STREET COTUIT, MASSACHUSETTS			
SHEET NO.: 1 OF 1		DATE: MAY 1, 2024	
DRAWN BY: JJF		CHECKED BY: MCC	
PREPARED BY:			
			
SUMMERFIELD PARK 800 FALMOUTH ROAD SUITE 301C MASHPEE, MA 02649		508.477.7272 PHONE 508.477.9072 FAX <a href="http://www.CapeEng.com">www.CapeEng.com</a>	
DRAWING TITLE:			
EXISTING CONDITIONS PLAN			
ASSESSORS INFORMATION: MAP 35 PARCEL 44 & 45			





LEGEND

- |      |                    |   |                   |
|------|--------------------|---|-------------------|
| ■ CB | CONCRETE BOUND     | ● | CONIFEROUS TREE   |
| ■ SB | STONE BOUND        | ● | DECIDUOUS TREE    |
| ● RC | ROD CAP            | ● | TREE STUMP        |
| ○ IP | IRON PIPE FOUND    | ● | SHRUB             |
| ●    | HYDRANT            | ● | CONIFEROUS SHRUB  |
| ●    | WATER SHUTOFF      | — | TREE LINE         |
| ■    | CATCH BASIN SQUARE | — | OVERHEAD WIRES    |
| ●    | UTILITY POLE       | — | STONE WALL        |
| —    | GUY POLE           | — | POST & RAIL FENCE |
| —    | GUY WIRE           | — | STOCKADE FENCE    |
| —    | LIGHT POLE         | — | PICKET ROW        |
| —    | SIGN               | — | CHAIN LINK FENCE  |
|      |                    | — | AREA OF STRUCTURE |



GENERAL NOTES

LOCATIONS ARE BASED ON AN "ON THE GROUND" INSTRUMENT SURVEY AND ELEVATIONS BASED ON THE NAVD 1988 DATUM. COORDINATE SYSTEM USED IS THE MA-MAINLAND COORDINATE SYSTEM, DATUM: NAD 83, UNITS: U.S. SURVEY FEET.

DIMENSIONS OF EXISTING BUILDINGS AND BUILDING OFFSETS SHOWN HEREON ARE TO CORNER BOARDS OR SIDING EXTENTS AND ARE DISPLAYED IN ENGINEERING UNITS WITH A PRECISION OF ONE TENTH (0.1) OF A FOOT. LOT COVERAGE IS CALCULATED TO CORNER BOARDS.

THE FINISHED FLOOR ELEVATION (FIN. FL. EL.) SHOWN HEREON IS BASED ON AN ASSUMED 1" LOWER THAN THE SURVEYED THRESHOLD ELEVATION. AN INTERIOR INSPECTION OF BUILDINGS WAS NOT PERFORMED.

ZONING DISTRICT: RF

PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF MINIMAL FLOOD ZONE HAZARD X BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 25001C0756J, WITH A MAP EFFECTIVE DATE OF JULY 16, 2014.

PROPERTY IS NOT LOCATED WITHIN A DEP APPROVED ZONE II WELLHEAD PROTECTION AREA.

PROPERTY IS NOT MAPPED WITHIN A MESA NATURAL HERITAGE AND ENDANGERED SPECIES AREA.

PROPERTY IS WITHIN THE RESOURCE PROTECTION OVERLAY DISTRICT

PROPERTY IS LOCATED WITHIN THE SALTWATER ESTUARY PROTECTION OVERLAY DISTRICT

WIND EXPOSURE CATEGORY: ZONE B

PARCEL 35-44 LOT AREA = 17,368 S.F.

PARCEL 35-45 LOT AREA = 11,647 S.F.

A COMPREHENSIVE ZONING ANALYSIS HAS NOT BEEN PERFORMED BEYOND THE ITEMS LISTED ABOVE.

DEED REFERENCE: BOOK 462 PAGE 325, BOOK 1245 PAGE 596, BOOK 7026 PAGE 85 & BOOK 28720 PAGE 183

PLAN REFERENCE: BOOK 184 PAGE 59 F2, BOOK 466 PAGE 78 & BOOK 473 PAGE 77

OWNER: COTUIT FIRE DISTRICT  
64 HIGH STREET  
COTUIT, MA 02635

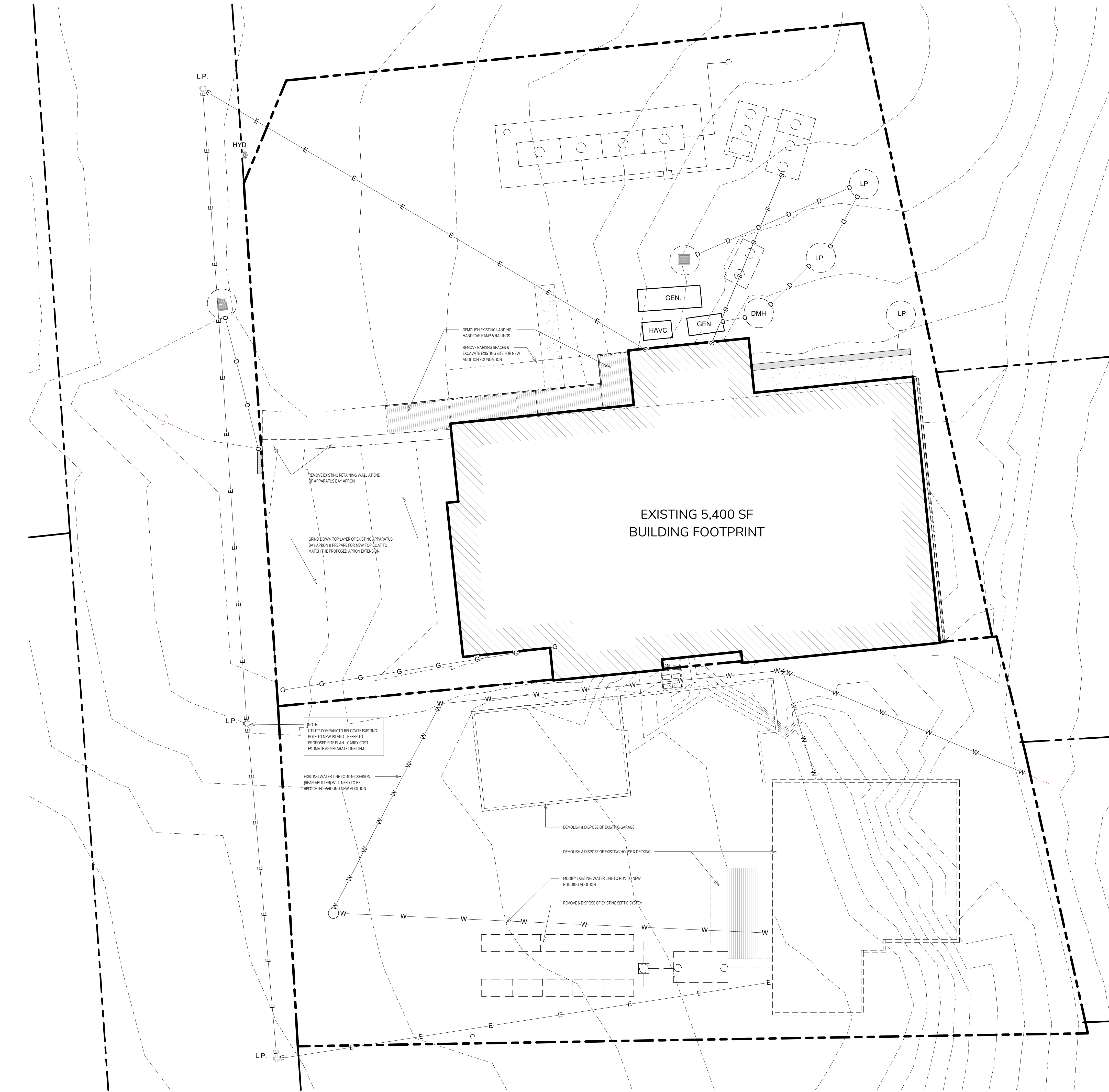
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DATE	DESCRIPTION	BY	CHK
PREPARED FOR:			
COTUIT FIRE DISTRICT 64 HIGH STREET COTUIT, MA 02635			
PROJECT:			
56-64 HIGH STREET COTUIT, MASSACHUSETTS			
SHEET NO.: 1 OF 1		DATE: APRIL 2, 2024	
DRAWN BY: JJF		CHECKED BY: MCC	
PREPARED BY:			
			
SUMMERFIELD PARK 800 FALMOUTH ROAD SUITE 301C MASHPEE, MA 02649		508.477.7272 PHONE 508.477.9072 FAX www.CapeEng.com	
DRAWING TITLE:			
CONCEPTUAL SITE PLAN			
ASSESSORS INFORMATION: MAP 35 PARCEL 44 & 45			





1 DEMOLITION SITE PLAN  
1" = 10'-0"

**Cotuit Fire Space Needs Feasibility Study**  
**Cotuit Fire District**  
**64 High Street, Cotuit, MA**

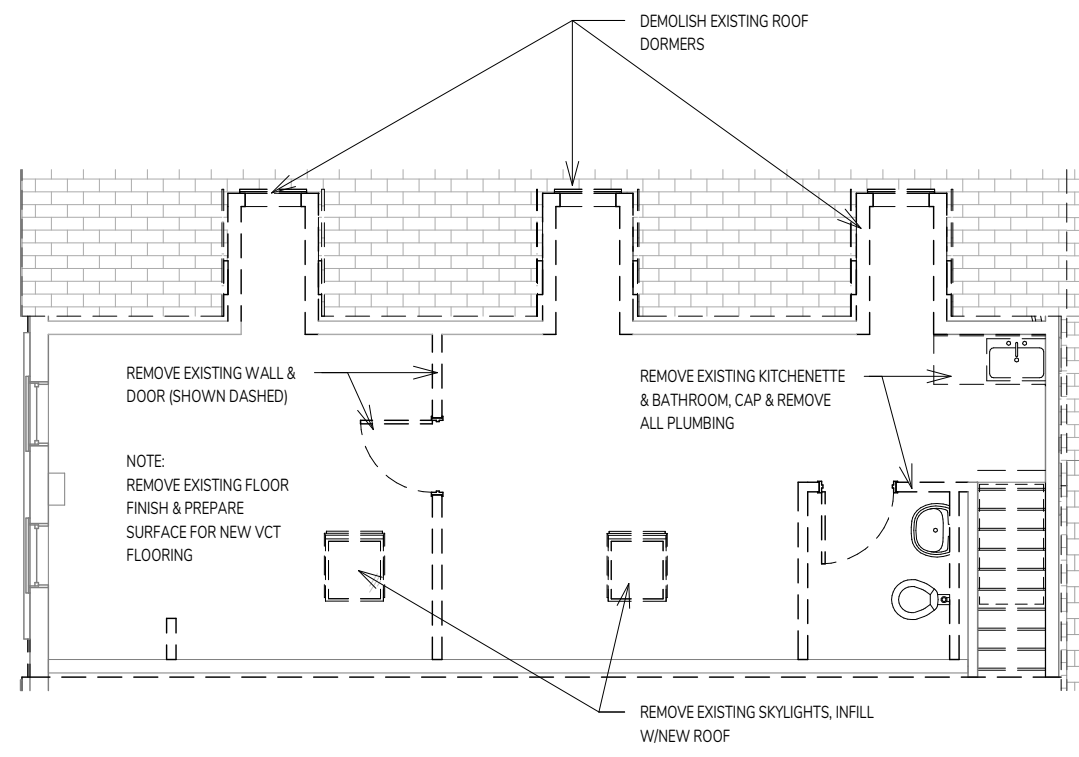
**EXISTING/  
DEMOLITION SITE  
PLAN**

DATE ISSUED: 05.02.2024

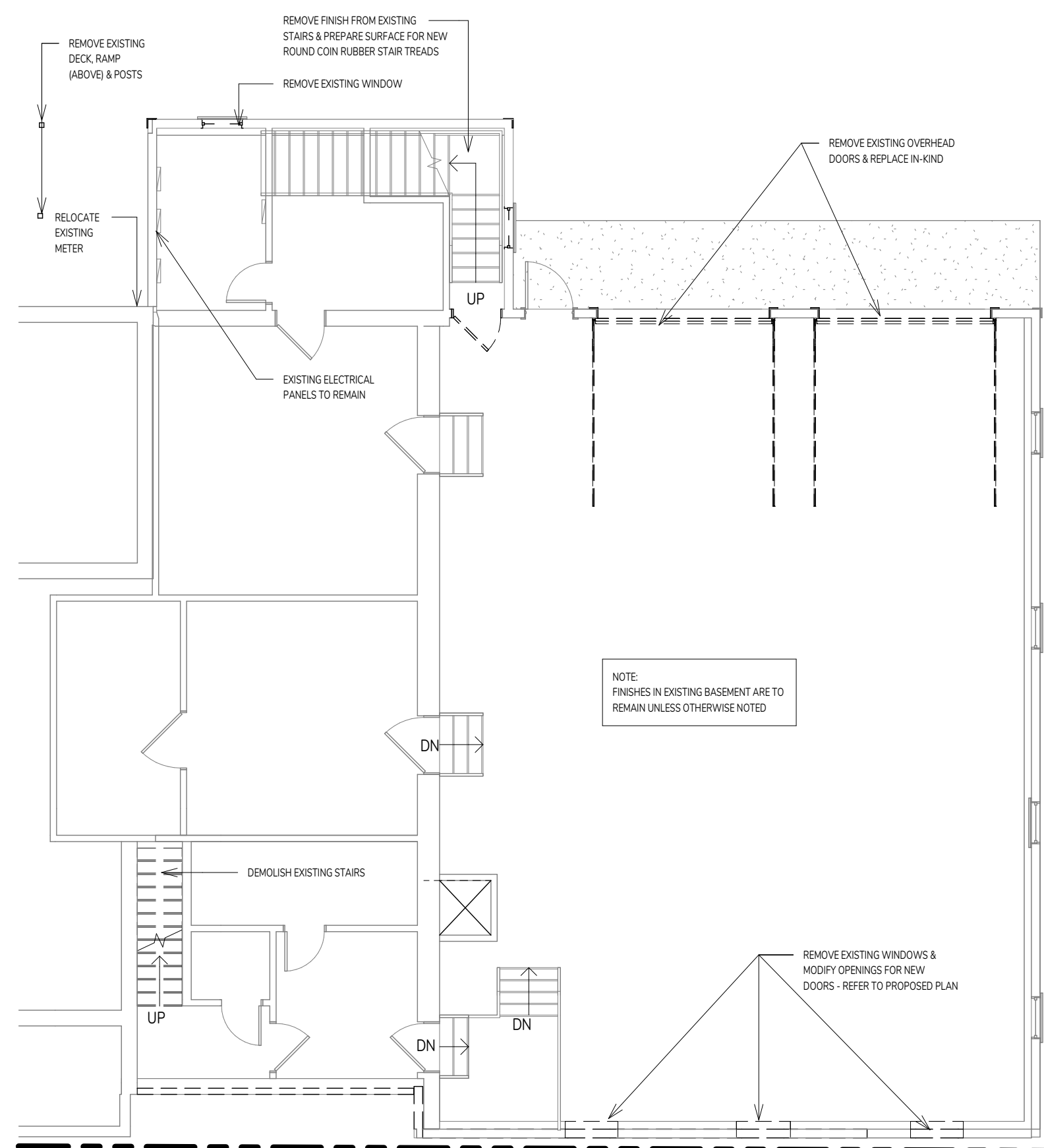
REVISIONS:	NO.	DESCRIPTION	DATE
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DRAWN BY: Author  
SCALE: 1" = 10'-0"

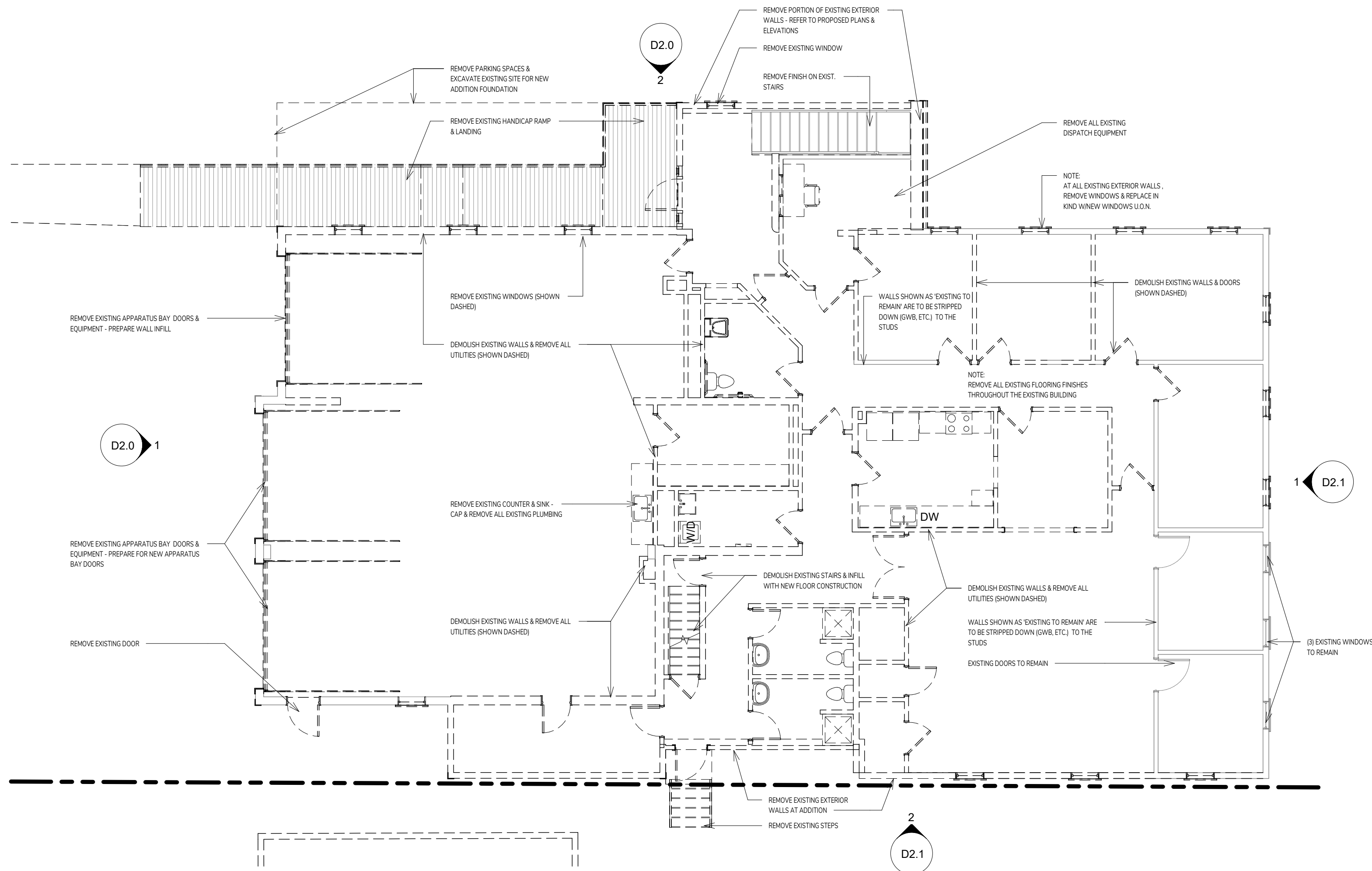
DRAWING NO.:  
**D0.1**



3 DEMOLITION SECOND FLOOR PLAN  
1/8" = 1'-0"



2 DEMOLITION LOWER LEVEL PLAN  
1/8" = 1'-0"



1 DEMOLITION GROUND FLOOR PLAN  
1/8" = 1'-0"

GENERAL NOTES:

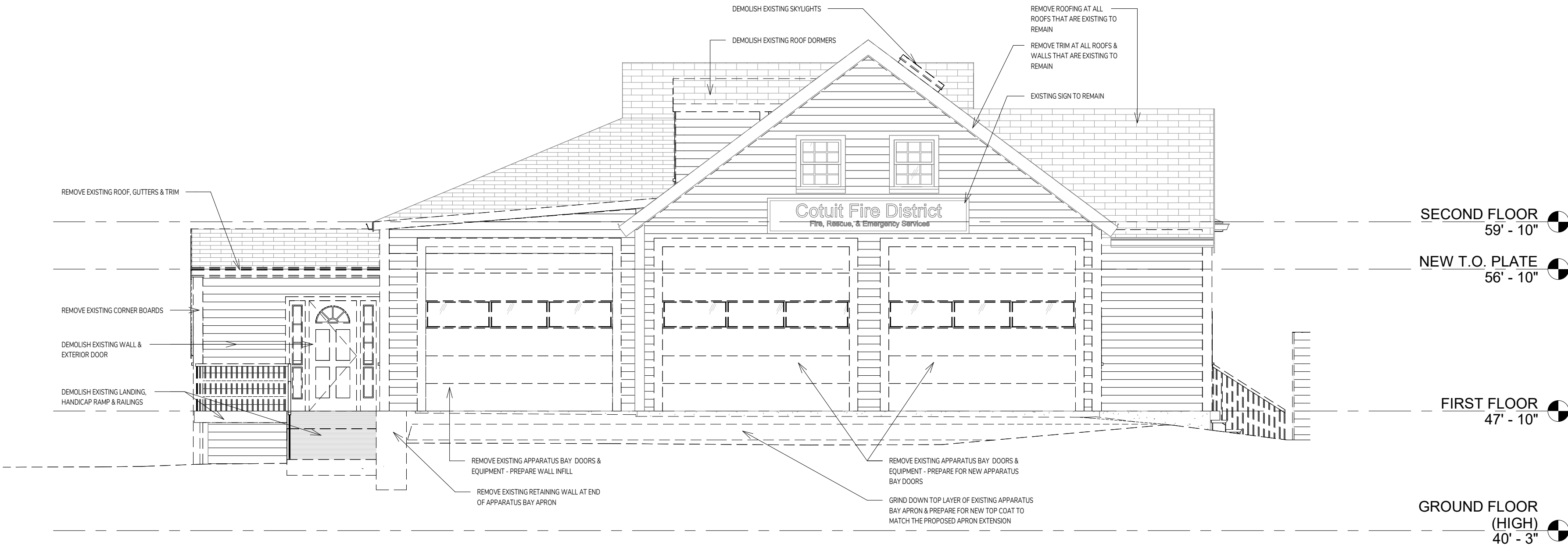
- ALL WINDOWS INCLUDED IN NEW CONSTRUCTED WALLS ARE TO BE IMPACT RATED
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- ESTIMATE TO CARRY PRICE FOR A NEW GENERATOR TO REPLACE EXISTING AS AN ALTERNATE
- ASSUME NEW SUPPLEMENTAL SEPTIC SYSTEM TO TIE INTO EXISTING SYSTEM

WALL TYPE LEGEND:

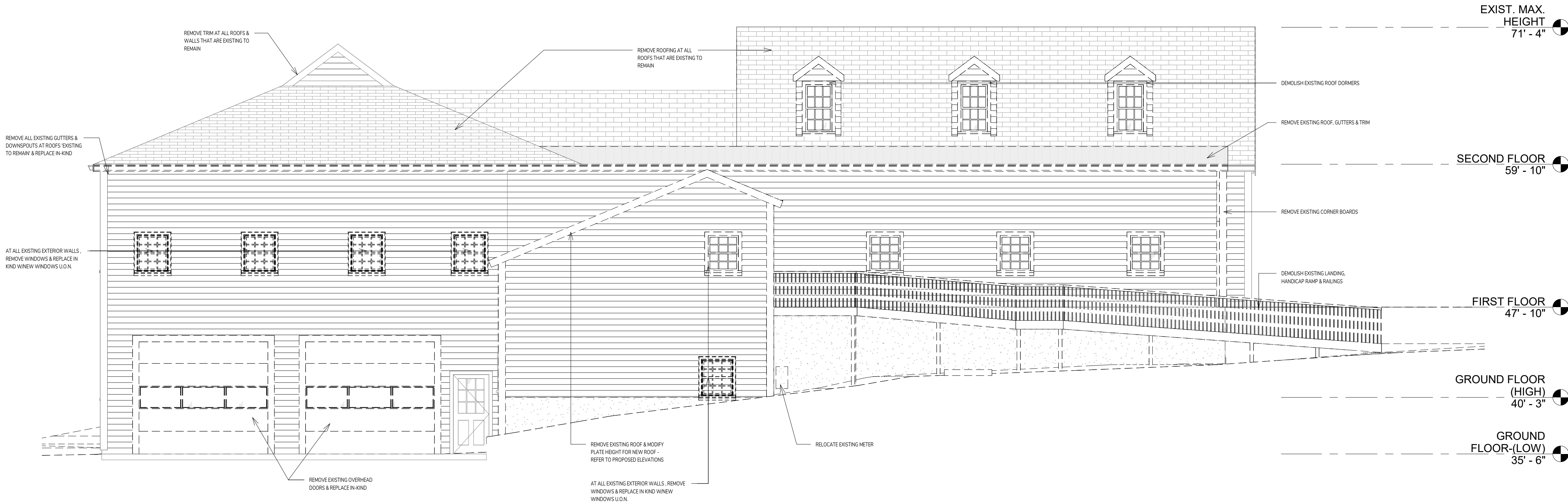
- EXISTING WALL CONSTRUCTION TO REMAIN
- WALLS TO BE DEMOLISHED



- GENERAL NOTES:**
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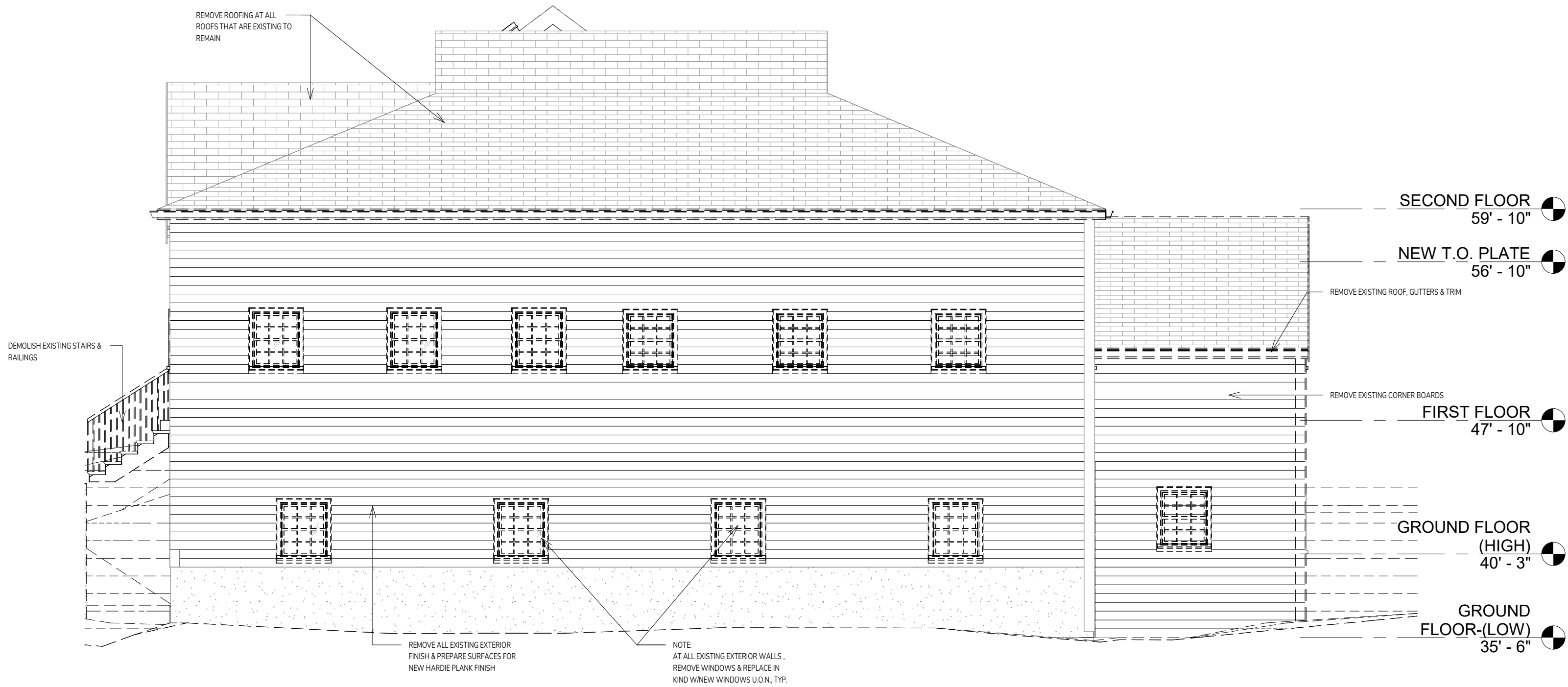


1 DEMOLITION WEST ELEVATION  
3/16" = 1'-0"

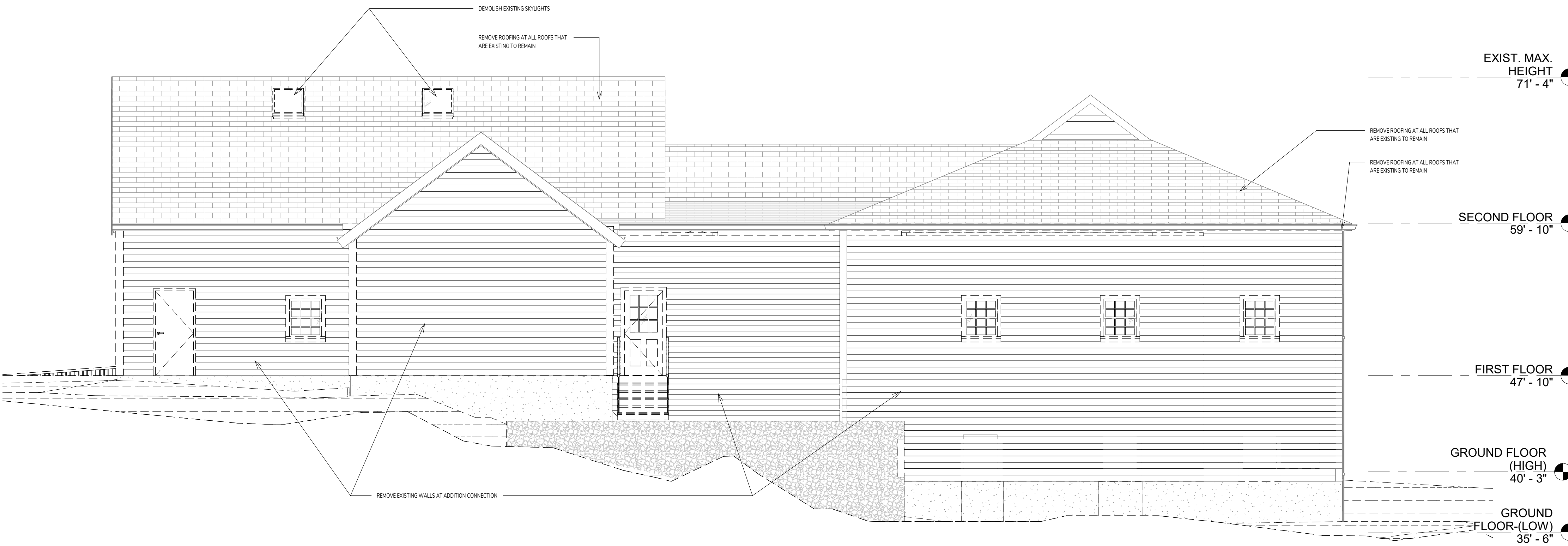


2 DEMOLITION NORTH ELEVATION  
3/16" = 1'-0"

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1 DEMOLITION EAST ELEVATION  
3/16" = 1'-0"



2 DEMOLITION SOUTH ELEVATION  
3/16" = 1'-0"

Cotuit Fire Space Needs Feasibility Study  
Cotuit Fire District  
64 High Street, Cotuit, MA

DEMOLITION  
ELEVATIONS

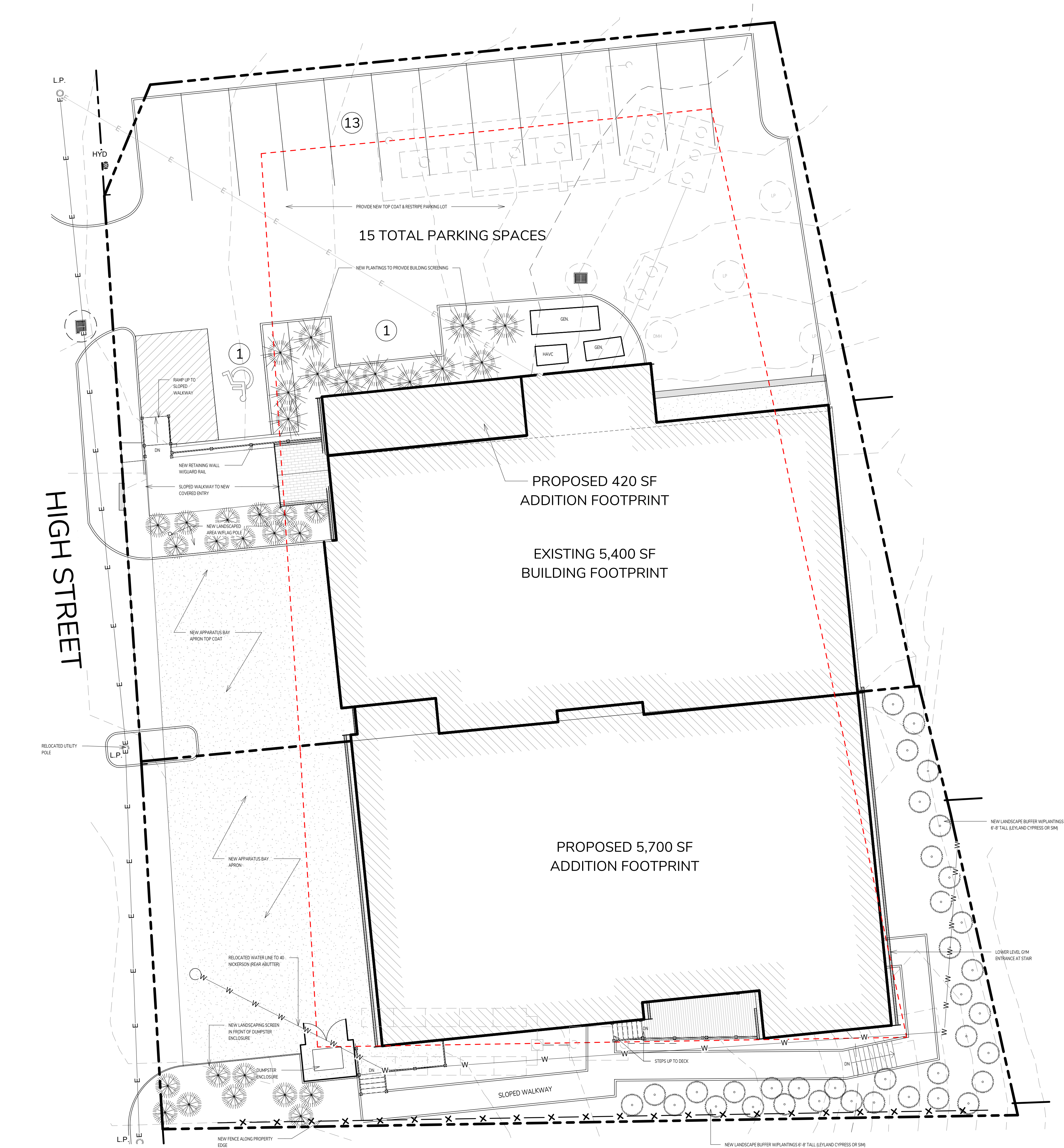
DATE ISSUED: 05.02.2024

REVISIONS:  
NO. DESCRIPTION DATE

DRAWN BY: Author  
SCALE: As indicated

DRAWING NO.:  
D2.1





1 CONCEPTUAL SITE PLAN  
1" = 10'-0"

**Cotuit Fire Space Needs Feasibility Study**  
**Cotuit Fire District**  
**64 High Street, Cotuit, MA**

**CONCEPTUAL  
SITE PLAN**

DATE ISSUED: 05.02.2024

REVISIONS:  
NO. DESCRIPTION DATE

DRAWN BY: YM

SCALE: 1" = 10'-0"

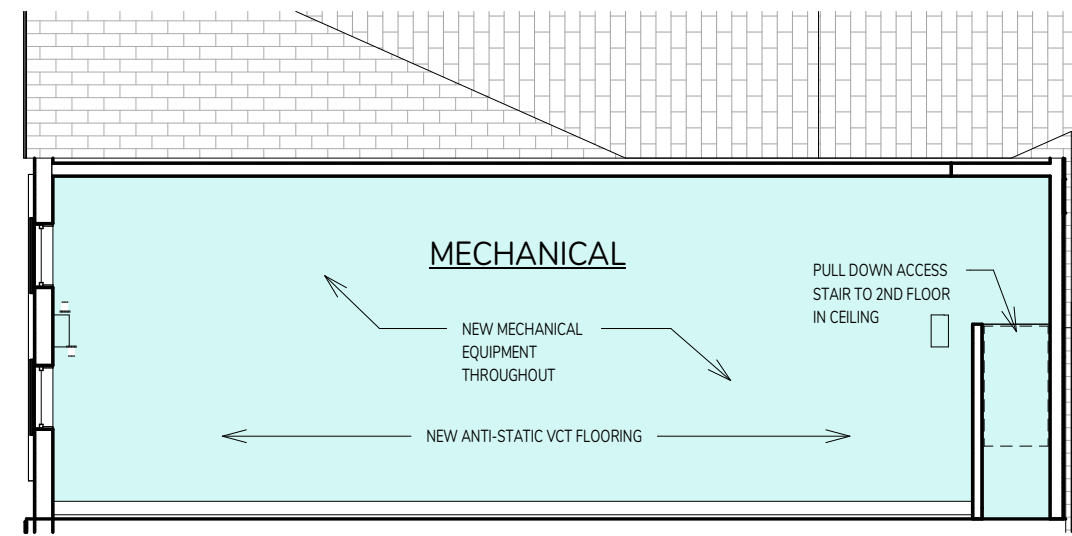
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### Use Areas Legend

- CIRCULATION
- FIRE EQUIPMENT & OPS SPACE
- FITNESS SPACE
- RESTROOMS, STORAGE, MISC.

### 3 SECOND FLOOR PLAN 1/8" = 1'-0"



### BUILDING CALCULATIONS

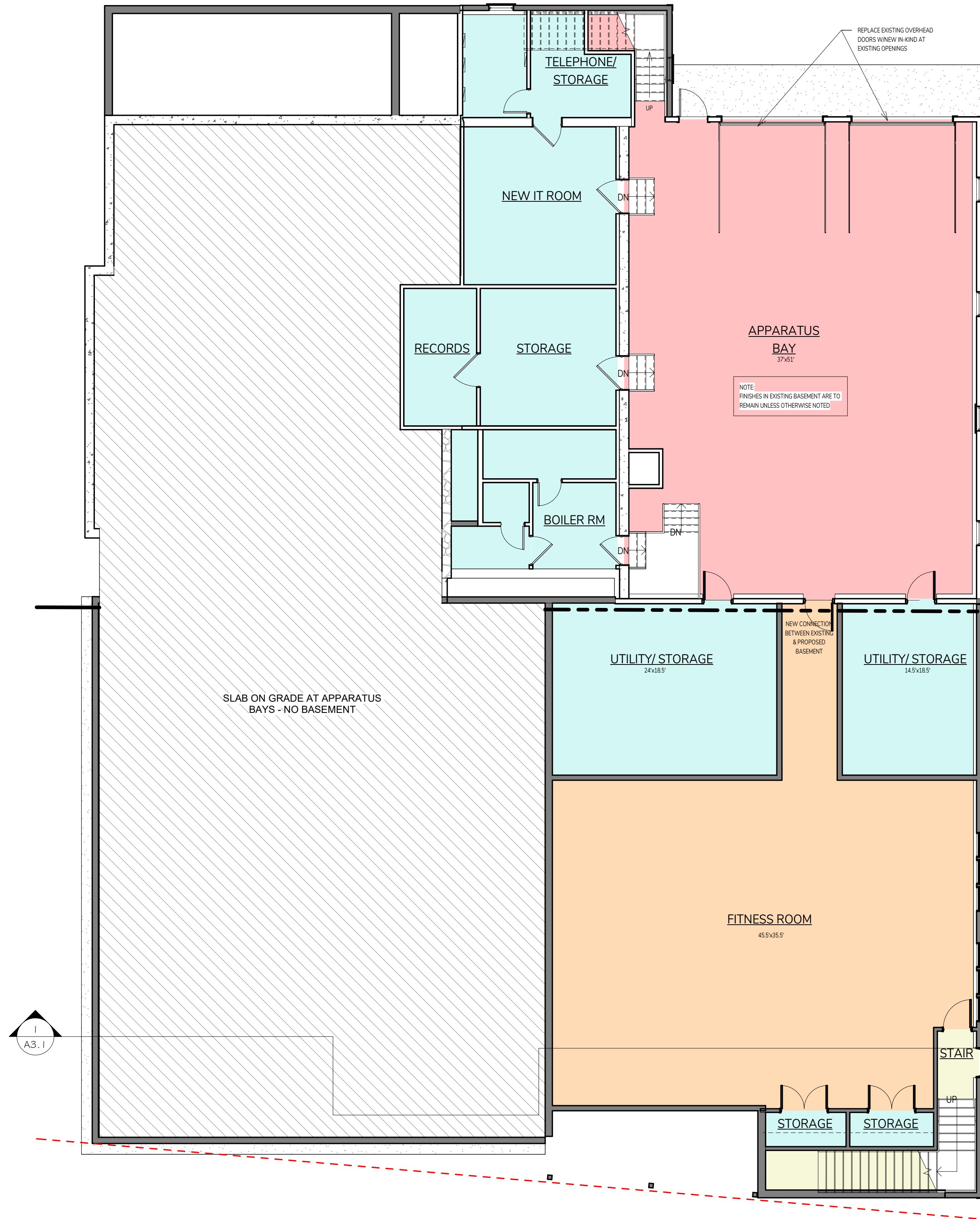
EXISTING BUILDING G.S.F.	=	9,009 S.F.
PROPOSED ADDITION G.S.F. (1ST FLR & BASEMENT) (5,700GSF @ 1ST FLR)	=	8,937 S.F.
PROPOSED TOTAL G.S.F.	=	17,946 S.F.

### WALL TYPE LEGEND:

- EXISTING WALL CONSTRUCTION TO REMAIN
- NEW WALL CONSTRUCTION

### Use Areas Legend

- CIRCULATION
- FIRE EQUIPMENT & OPS SPACE
- LIVING SPACE
- OFFICE SPACE
- RESTROOMS, STORAGE, MISC.
- TRAINING SPACE



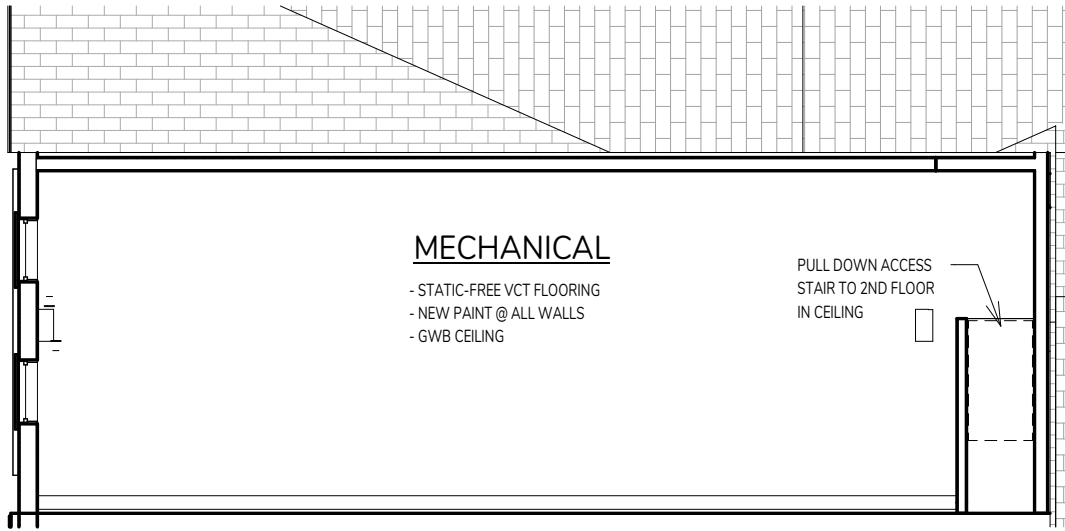
### 2 BASEMENT FLOOR PLAN 1/8" = 1'-0"

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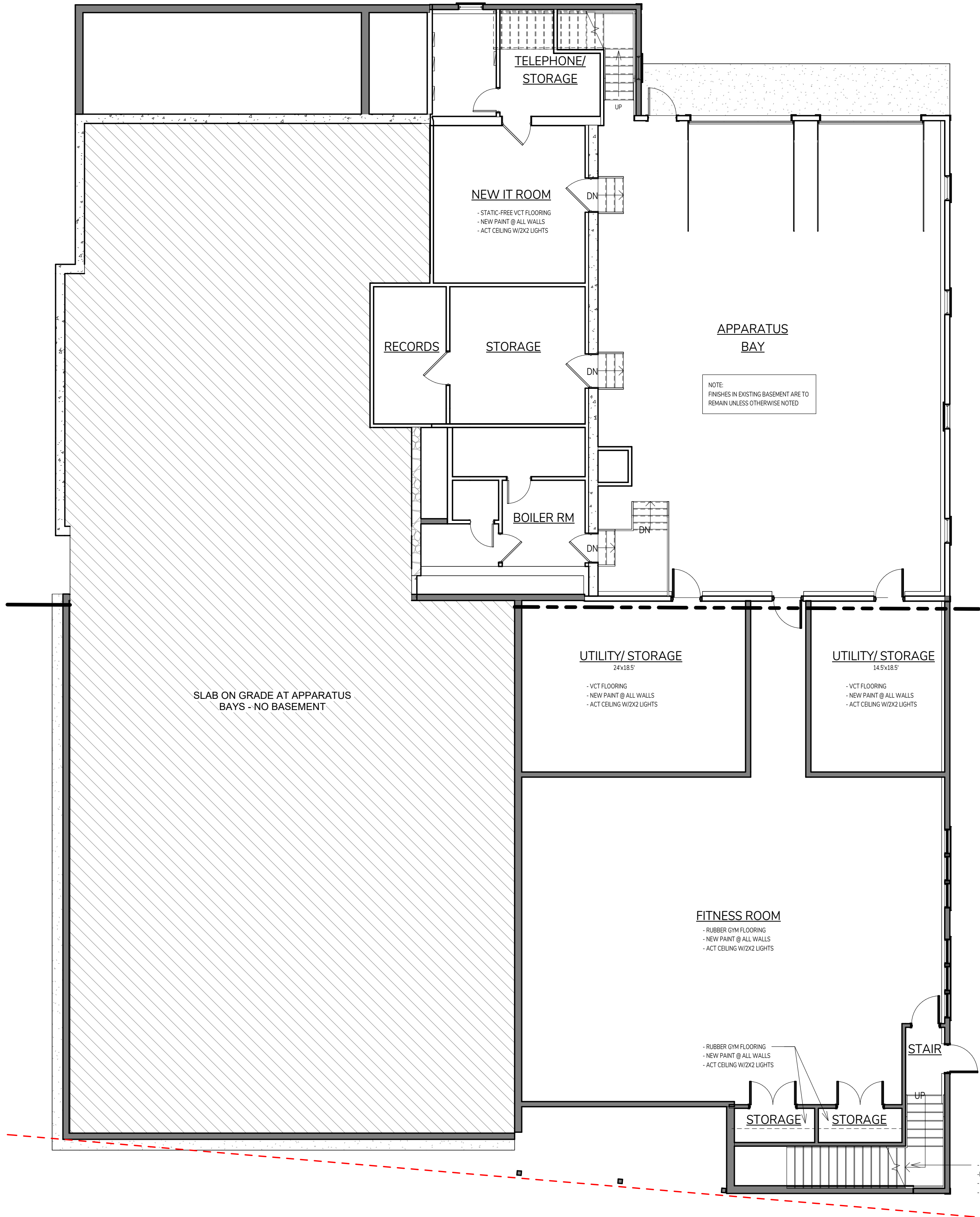
### 1 FIRST FLOOR PLAN 1/8" = 1'-0"







3 SECOND FLOOR FINISH PLAN  
1/8" = 1'-0"



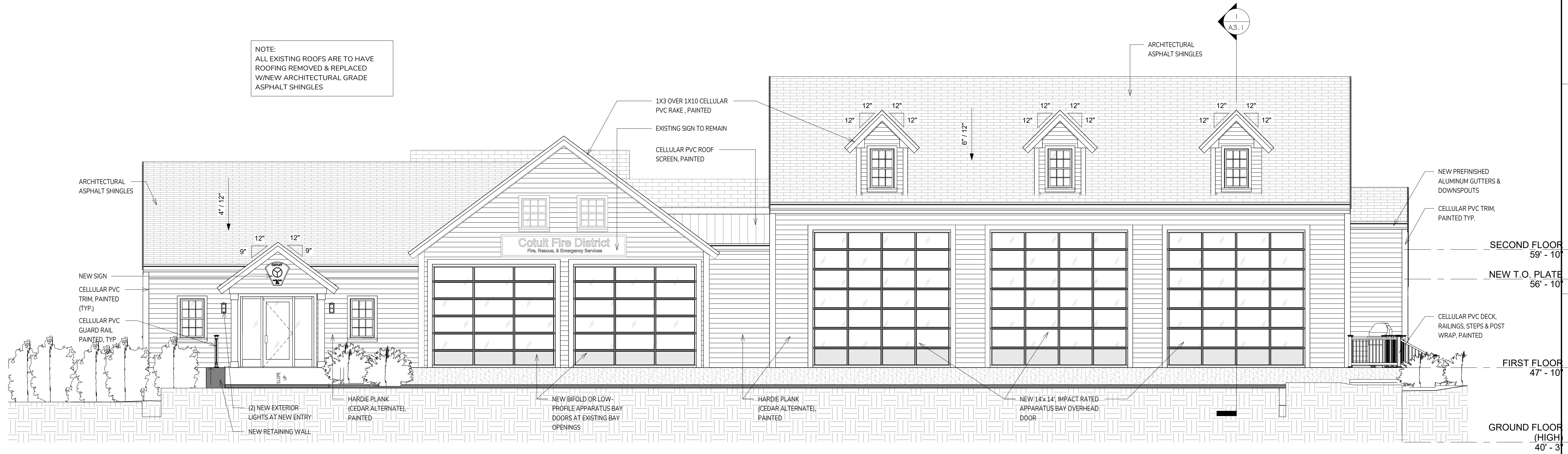
2 BASEMENT FINISH FLOOR PLAN  
1/8" = 1'-0"

ROOM FINISHES LEGEND				
MARK	MATERIAL / FINISH...	MANUFACTURER / PRODUCT LINE	COLOR / CODE	COMMENTS
FINISH NOTES:				

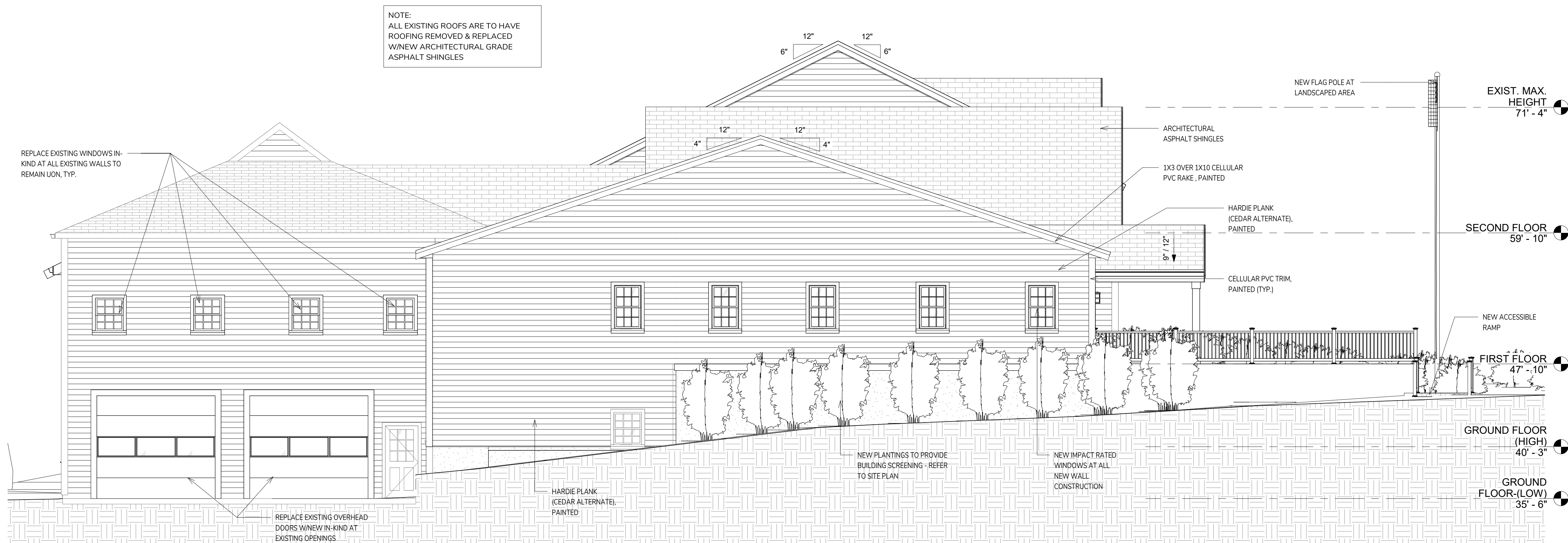


1 FIRST FLOOR PLAN  
1/8" = 1'-0"





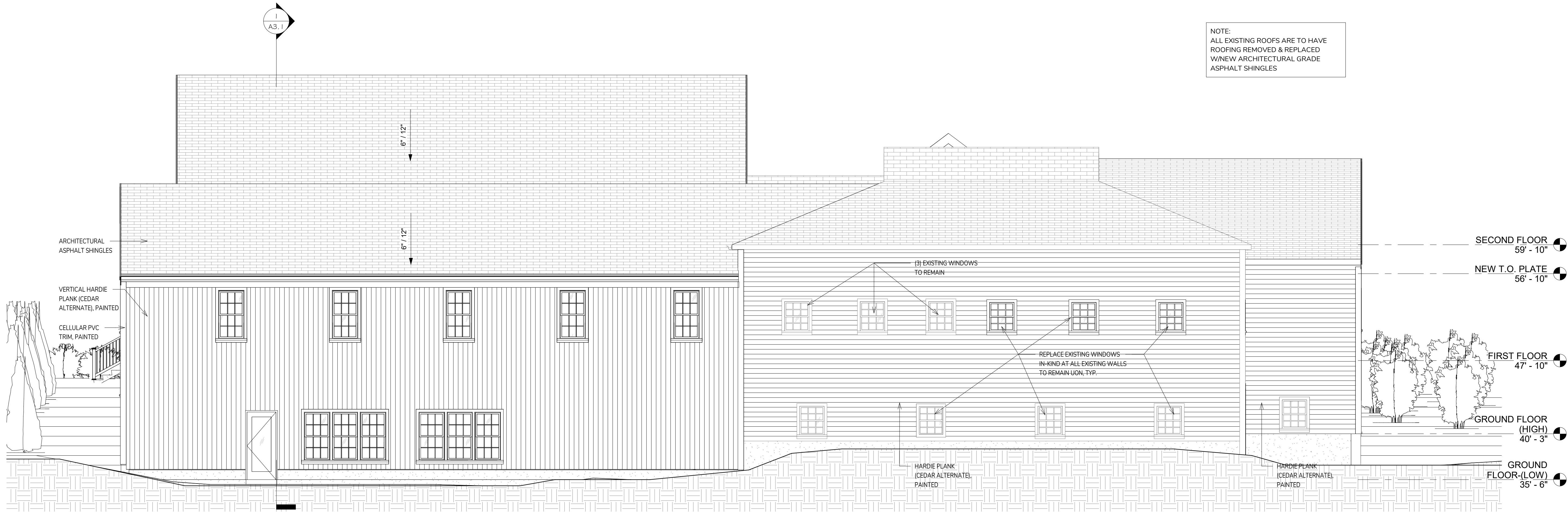
1 PROPOSED WEST ELEVATION  
3/16" = 1'-0"



2 PROPOSED NORTH ELEVATION  
3/16" = 1'-0"

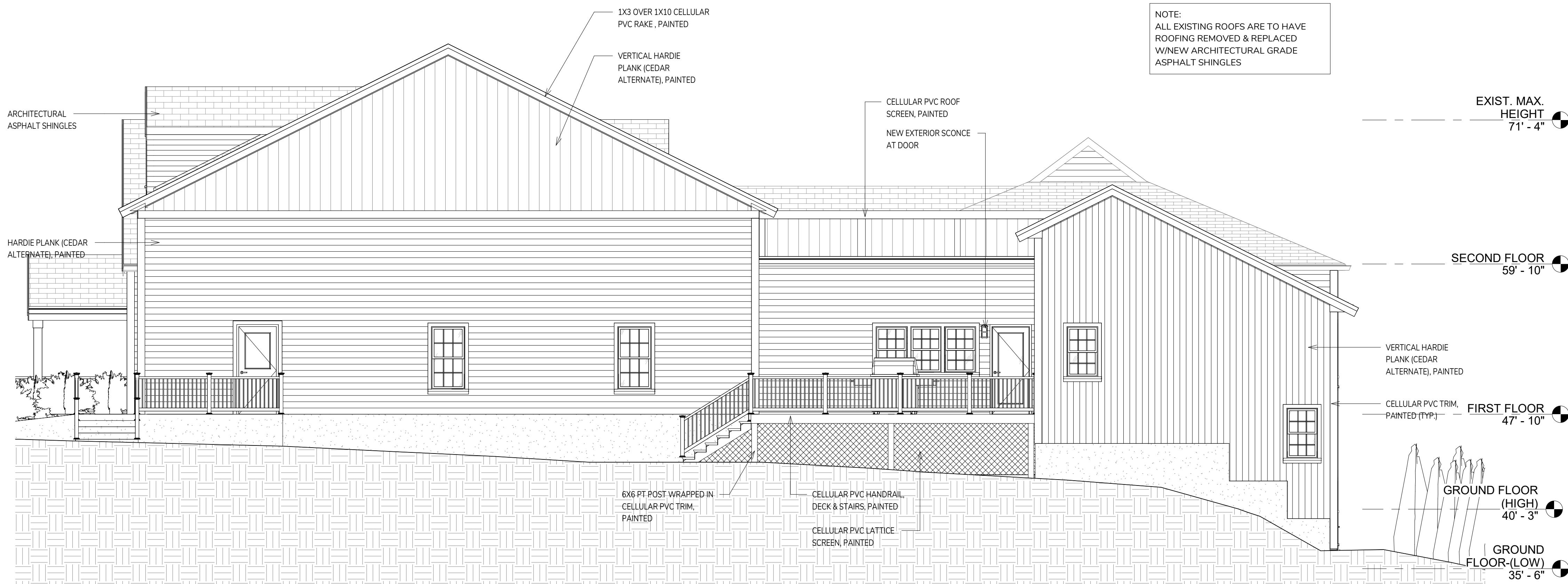
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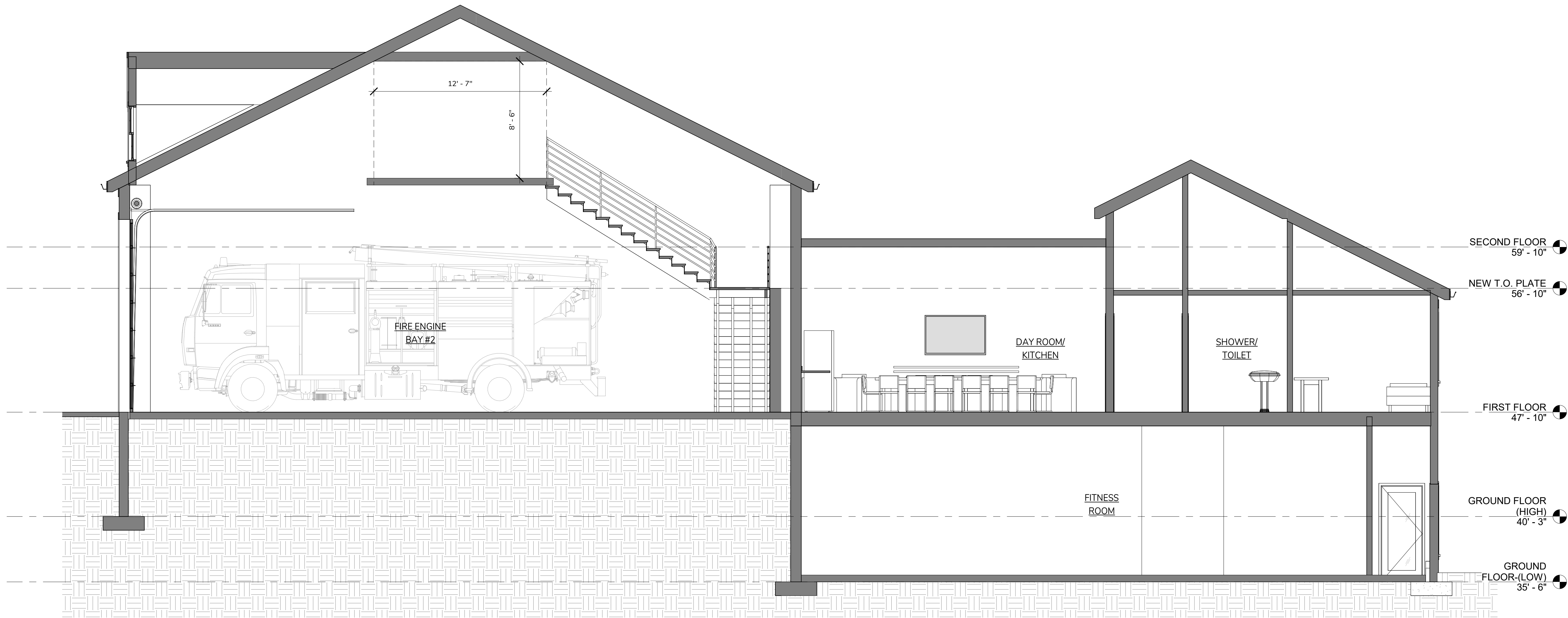


1 PROPOSED EAST ELEVATION  
3/16" = 1'-0"

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2 PROPOSED SOUTH ELEVATION  
3/16" = 1'-0"



1 BUILDING SECTION 'A'  
1/4" = 1'-0"

**Cotuit Fire Space Needs Feasibility Study**  
**Cotuit Fire District**  
**64 High Street, Cotuit, MA**

**BUILDING  
SECTIONS**

DATE ISSUED: 05.02.2024

REVISIONS:  
NO. DESCRIPTION DATE

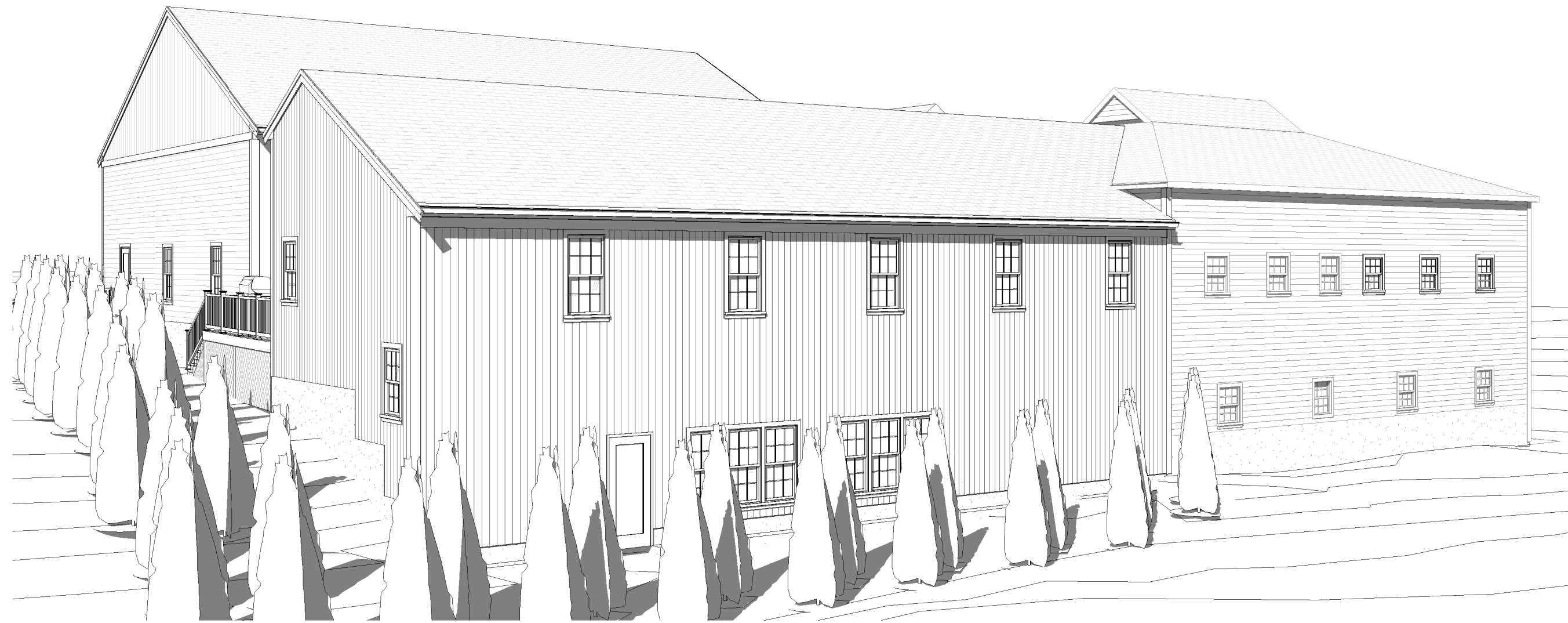
DRAWN BY: Author

SCALE: 1/4" = 1'-0"

DRAWING NO.:

**A3.1**





2 CONCEPTUAL PERSPECTIVE VIEW 2



1 CONCEPTUAL PERSPECTIVE VIEW 1



4 CONCEPTUAL PERSPECTIVE VIEW 4



3 CONCEPTUAL PERSPECTIVE VIEW 3

**Cotuit Fire Space Needs Feasibility Study**  
**Cotuit Fire District**  
**64 High Street, Cotuit, MA**

**CONCEPTUAL  
PERSPECTIVE  
VIEWS**

DATE ISSUED: 05.02.2024

REVISIONS:

DRAWN BY: Author

SCALE:

DRAWING NO.:

**A3.2**